Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

August 9, 2023

The Smithfield Zoning Board of Review will hold public hearings on Wednesday, August 9, 2023 at 6:00 PM, at the Smithfield Town Hall, 64 Farnum Pike, Smithfield, Rhode Island. All persons entitled to be heard will be heard for or against the granting of the following applications:

I Communications / Administration

The following Meeting Minutes will be considered, discussed, and acted on: June 7, 2023

22-11

Richard Almonte as applicant and Almonte Family Trust as owner of property located at 317 Old County Road, listed as Plat 51, Lot 59 seek an extension to a previously granted resolution to construct a carport.

II Public Hearings

A. Old Business

B. New Business

23-014

Richard and Ellen Fontaine as applicants and Fontaine Family Trust as owner of property located at 62 Burlingame Road, listed as Plat 50, Lot 57 seek a special use under § 3.9.D "Building Or Structure Nonconforming by Dimension, Addition and Enlargement", 3.13.A "Special Use Permit For Expansion, Addition, Or Enlargement, Structure or Use of Structure", 4.5 "Dimensional Relief by Special Use Permit" to construct an attached garage with living space in an R-80 district.

23-015

Justin and Desiree Vannostrand as applicants and owners of property located at 7 High View Drive, listed as Plat 45A, Lot 21 seek a variance to deviate from § 5.4. Table 1 "Dimensional Regulations" to construct an accessory family dwelling unit in an R - Medium district.

23-016

All Day Real Estate LLC as applicant and Jeff Anthony Properties, LLC as owner of property located at 313 Waterman Avenue, listed as Plat 26, Lot 48 seek a use variance to deviate from § 4.3.I.4 and 4.4.I.4 "Personal Service Establishments" to operate a gym/fitness center in an R-20 district.

23-017

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 as applicant and owner of property located as 400 George Washington Highway, listed as Plat 48, Lot 4C seeks variances to deviate from § 4.3.J.6 and 4.4.J.6 "Storage Facility not including Truck Terminal", 9.4.8 Table 3 "Ego Land Uses" and 3.7 "Existence By Variance or Special Use Permit" to demolish the existing office building and construct a self-storage building in a Highway Commercial/ Economic Growth Overlay district.

23-018

The Washington Trust Company c/o Dennis Algiere as applicant and W/S Smithfield Associates LLC as owner of property located at 371 Putnam Pike, listed as Plat 43, Lot 21D seek a special use permit under § 4.3.G.7B and 4.4.G.7 "Bank Without Window Service" to renovate an existing building to operate a bank with no window service in a Commercial district.

III Deliberations

The following matters will be considered, discussed, and acted on for the relief requested and identified under Section II, Public Hearing: 22-11, 23-014, 23-015, 23-016, 23-017, 23-018,

IV Adjournment

AGENDA POSTED JULY 21, 2023

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager's office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.



Smithfield Zoning Board of Review Meeting Minutes June 7, 2023

Time: 6:00 pm

Place: Town Hall, 64 Farnum Pike

Members Present:

Chairman S. James Busam Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Members Absent:

John Hunt

Richard Leveille

Others Present:

Assistant Town Solicitor, David Ursillo

Zoning Board Clerk, Donna Corrao

Meeting session opened at 6:00 p.m.

COMMUNICATIONS/ADMINISTRATION

A) Approval of meeting minutes for May 3, 2023.

Motion to APPROVE the May 3, 2023 Minutes as Presented: Edward Civito

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion:

Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito
Alt. Peter Libutti

Voting to deny the motion: None

The vote on the motion being 4 - 0, the motion passed.

NEW BUSINESS

Case: 23-007

Applicant/Owner: Michael Cotugno

Address: 149 Ridge Road

Plat/Lot: 42/112

Zoning District: R-Medium

Case Summary:

Michael Cotugno as applicant and owner of property located at 149 Ridge Road, listed as Plat 42, Lot 112 seeks a variance to deviate from §4.4.B.1.C "Residential Uses, Accessory Family Dwelling Unit" to construct an accessory family dwelling unit in an R - Medium district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Variances: Edward Civito

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion:

Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition:

None

The vote on the motion being 4-0, the motion carried.

Case: 23-008

Applicant/Owner: Diana Brennan and Matthew Stith

Address: 7 Orchard Avenue

Plat/Lot: 53/036 Zoning District: R-20

Case Summary:

Diana Brennan and Matthew Stith as applicants and owners of property located at 7 Orchard Avenue, listed as Plat 53, Lot 36 seek variances to deviate from § 4.4.A.4 "Animal Raising, Non-Commercial, Outdoor" and a special use permit under §4.3.A.4 and 4.4.A.4 "Animal Raising, Non-Commercial, Outdoor" to house hens in a mobile chicken coop/tractor in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to DENY the Request for Variances and Special Use Permit: Edward Civito

Motion seconded: Alt. Peter Libutti

Voting to approve the motion:

Chairman S. James Busam Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition:

None

The vote on the motion being 4-0, the motion carried.

Case: 23-009

Applicant/Owner: Bellini Construction Co. Inc.

Address: 8 Sheffield Road

Plat/Lot: 44B/59 Zoning District: R-80

Case Summary:

Bellini Construction Co. Inc. as applicant and owner of property located at 8 Sheffield Road, listed as Plat 44B, Lot 59 seeks a variance to deviate from §5.4 Table 1 "Dimensional Regulations" to construct a single-family dwelling in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance with Conditions: Edward Civito

Motion seconded: Peter Libutti

Voting to approve the motion:

Chairman S. James Busam

Edward Civito Alt. Peter Libutti

Voting in Opposition:

Vice Chair Linda Marcello

The vote on the motion being 3-1, the motion carried.

Case: 23-010

Applicant/Owner: J. Theodore Ray Living Trust

Address: 292 Waterman Avenue

Plat/Lot: 26/27

Zoning District: R-20

Case Summary:

J. Theodore Ray Living Trust as applicant and owner of property located at 292 Waterman Ave, listed as Plat 26, Lot 27 seeks a variance to deviate from §5.4 Table 1 "Dimensional Regulations" to create a new lot in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance as Applied: Vice Chair Linda Marcello

Motion seconded: Edward Civito

Voting to approve the motion: Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4-0, the motion carried.

Case: 23-011

Applicant: Bay Crane

Owner: LAR Associates, LLC. Address: 115 Lydia Ann Road

Plat/Lot: 45/26

Zoning District: Industrial

Case Summary:

Bay Crane as applicant and LAR Associates, LLC as owner of property located at 115 Lydia Ann Road, listed as Plat 45, Lot 26 seek a variance to deviate from §5.4 Table 1 "Dimensional Regulations" to construct an addition in a Light Industrial district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance with Conditions: Peter Libutti

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion: Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition:

None

The vote on the motion being 4 - 0, the motion carried.

Case: 23-012

Applicant: Sunn Builders, Inc.

Owner: Sunn Builders, Inc. and Clover Leaf Ret LLC.

Address: 0 Putnam Pike, 270 Putnam Pike, 0 Brush Street, and 280 Putnam Pike

Plat/Lot: 35/1, 1A, 1D, 2

Zoning District: Highway Commercial

Case Summary:

Sunn Builders, Inc. as applicant and Sunn Builders, Inc. and Clover Leaf Ret LLC as owners of property located at 0 Putnam Pike, 270 Putnam Pike, 0 Brush Street, and 280 Putnam Pike, listed as Plat 35 on Lots 1,1A, 1D and 2 seek a special use permit under §4.3.G.6 and 4.4.G.6 "Retail Business and Service, Automotive Washing", 4.3.G.23 and 4.4.G.23 "Retail Sales 5,000 -40,000 sf GFA" and variances to deviate from §5.4 Table 1 "Dimensional Regulations", 8.5.A.2 "Village, Commercial, Highway Commercial, Planned Corporate, Planned Development and Industrial Signs", 5.3.4 "Buffers" and 5.3.3 "Yards" to construct a commercial project with a car wash and retail stores in a Highway Commercial district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Variances and Special Use Permit with Conditions: Edward Civito

Motion seconded: Peter Libutti

Voting to approve the motion:

Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition:

None

The vote on the motion being 4 - 0, the motion carried.

Case: 23-013

Applicant/Owner: Shadesh Holdings, LLC.

Address: 351 Douglas Pike

Plat/Lot: 42/19

Zoning District: Commercial

Case Summary:

Shadesh Holdings, LLC as applicant and owner of property located at 351 Douglas Pike, listed as Plat 42, Lot 19 seeks a special use permit under §4.3.G.3A and 4.4.G.3A "Automotive Filling, Convenience Retail" to operate a gas station with convenience store in a Commercial District.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Special Use Permit with Conditions: Vice Chair Linda Marcello

Motion seconded: Edward Civito

Voting to approve the motion: Chairman S. James Busam

Vice Chair Linda Marcello

Edward Civito Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 - 0, the motion carried.

Respectfully submitted,

Donna A. Corrao, Zoning Board Clerk

Karen Laboissonniere

From:

Krina Almonte < rand3kays@gmail.com>

Sent:

Monday, June 5, 2023 7:41 PM

To: Subject: Karen Laboissonniere [EXTERNAL] Extension

Richard Almonte of 317 Old County Rd, Smithfield, is requesting an extension on his variance. Thank you



INST: 2022-1961 **BK: 1425 PG: 181**06/09/2022 11:45:11 AM

5 Page(s)

ZONING RESOLUTION Lyn Antonuccio, Acting Town Clerk

TOWN OF SMIT ZONING BOARD OF REVIEW

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

Linda Marcello, Vice Chairman

OWNER/ APPLICANT:

Richard Almonte, as applicant and Almonte Family Trust, as

owner

DATE:

June 1, 2022

FILE NO.:

22-11

A RESOLUTION GRANTING A SPECIAL USE PERMIT AND DIMENSIONAL VARIANCES AT ASSESSOR'S PLAT 51 LOT 59

WHEREAS, a meeting of the Smithfield Zoning Board of Review was held on June 1, 2022 wherein the instant application was considered;

WHEREAS, Almonte Family Trust, as owner and Richard Almonte, as applicant of a property located at 317 Old County Road, Smithfield, listed as Plat 51 Lot 59, located in an R-20 Zone, filed an application with the Smithfield Zoning Board of Review seeking a Special Use Permit under Section 3.13.A "Special Use for Expansion, Addition, or Enlargement," and dimensional variances to deviate from Section 5.4 Table 1 "Dimensional Regulations" and Section 5.5.5.G in order to construct a carport to the side of their property;

WHEREAS, a public hearing on this application was held by the Smithfield Zoning Board of Review at its June 1, 2022 meeting, after due and public notice as provided under the Smithfield Zoning Ordinance and the Rhode Island General Laws with the appropriate notices and return receipts being part of the record;

WHEREAS, all members of the Smithfield Zoning Board of Review viewed or had the opportunity to view the property before the public hearing;

WHEREAS, at the hearing all those who desired to be heard were heard and their testimony recorded by tape and/ or stenographic means;

WHEREAS, the Board accepts and incorporates into the record all documents submitted for application along with any accepted during the hearing including Exhibit 1 – The Town's Engineering Department Soil Erosion Approval with specific language regarding the sewer line;

WHEREAS, the Board accepts and incorporates into the record the stenographic or audio or video recording for which this hearing was conducted;

WHEREAS, the Smithfield Zoning Board of Review finds as fact that Richard Almonte appeared on his own behalf and after being duly sworn, testified that he wishes to construct a carport to the side of his house which would be to cover the stairs on the side of the house, and so he is able to park a car under it in order to stay out of the elements;

WHEREAS, it will be 16 feet wide, but 4 feet of it will be covering the stairs, thereby having room for one car at 12 feet wide, the carport would be 22 feet deep;

WHEREAS, since the property would be non-conforming, he needs a Special Use Permit;

WHEREAS, the relief sought is 6 feet of side yard setback relief and 7% relief from maximum lot coverage;

WHEREAS, the Board specifically discussed an issue regarding the storm water drain to the front of his property along with the Sanitary Sewer Easement for the storm drainage pipe extending either along his property line or through his property; the Board did not want any construction to effect the area where the storm drainage pipe is located nor restrict any utility or Town access to it;

WHEREAS, Mr. Almonte read into the record Exhibit 1 which addresses the storm drainage pipe and access to it along or on his property; such letter included specific restrictions; which Mr Almonte stated he agreed to and accepts;

WHEREAS, the Board was satisfied that the storm drain, the storm drainage pipe and the Sanitary Sewer easement for it will not be effected by the construction of this carport nor be restricted by the construction of the carport and that parameters are in place pursuant to Exhibit 1 in case it does;

WHEREAS, the hearing was opened to the public and there was not anyone who appeared to speak in favor of or against this application;

WHEREAS, without any further comment, the public hearing was closed;

WHEREBY, the Board finds and determine as facts, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:

- a) a non-conforming structure may be added to or enlarged specifically by special use under Zoning Ordinance Article 3 3.13.A;
- b) the Special Use meets all of the criteria set forth in the subsection of this Ordinance authorizing a Special Use as supported by the testimony submitted;

c) the granting of the Special Use Permit will not alter the general characteristics of the surrounding area or impair the intent or purpose of this Zoning Ordinance or Comprehensive Plan of the Town as this carport will be incorporated with the side of the house and continues to maintain a residential appearance and use as with the surrounding area;

and the Zoning Board has considered the following factors to the extent applicable in making this finding:

- i) that ingress & egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe are supported by the testimony and viewing of the property whereby this carport does not change the existing driveway or access to and from the property to the roadway;
- ii) that off street parking and loading areas, where required, with particular attention to the items set out in section (i) have been addresses as stated in section i above; and based upon this Board's granting a dimensional variance for the carport to exist on the property; and based upon the fact that the carport's use is to park a vehicle;
- iii) required yards & open spaces have been considered this element did not need to be considered;
- iv) refuse and other services the evidence for this item did not need to be considered;
- v) utilities applicable utilities are in the area for water and sewer; and the Board conditions the Special Use on Exhibit 1 which addresses the Sanitary Sewer easement, and the owner and applicant understand and agree that the carport cannot effect the utility easement, the storm drainage pipe, or restrict the access to any of it;
- vi) screening & buffering with reference to type the Board finds that this was not an issue;
- vii) signs the Board finds that this does not need to be addressed at this time;
- viii) general compatibility the board finds that the owner and applicant intend to keep this carport consistent with the surrounding residential area;
- ix) protection of sensitive features the Board finds that this did not need to be addressed;
- x) the Use will not create or exceed performance standards the Board does not find this to be an issue;
 - xi) impact fees to be paid;

xii) trips per acre – the Board finds that this did not need to be considered;

WHEREBY FURTHER, the Board finds and determine as facts, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:

- 1. The hardships from which the applicant seeks relief is due to the unique characteristics of the subject land and structure and is not due to the general character of the surrounding area and is not due to the physical or economic disability of the applicant which is supported by the following findings
- a) the property has minimal area to place any structure to the side yard and the area has a Sanitary Sewer easement in the area of the driveway/ carport area;
- 2. The hardships are not the result of any prior action of the applicant and do not result primarily from the desire of the applicant to realize greater financial gain which is supported by the following findings;
- a) the evidence was established that the carport is for the applicant's vehicle and is intended to keep the vehicle and the applicant from the elements; and such personal use demonstrates that the need is not primarily greater financial gain;
- 3. The granting of the requested dimensional variance will not alter the general character of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town which is supported by the following findings;
- a) the carport will be in the same area as the driveway, in the same area where cars park now, and the carport is a reasonable extension for a residential property in this area;
- 4. The relief requested and to be granted is the least relief necessary in that the Board finds the evidence shows the carport will only extend to the side of the yard far enough to allow one car and cover the stairs to the house; and
- 5. The Board finds and determines, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:
- a. The hardship that would be suffered by the applicant and owner of the subject property, if the dimensional variances were not granted, would amount to more than mere inconvenience, in that the owners would have limited opportunity to place any structure on the side of their house for vehicular coverage as the width would be a challenge to fit a vehicle without some relief from this Board;

NOW THEREFORE BE IT RESOLVED by unanimous vote of the Smithfield Zoning Board of Review that the application by the Owners and Applicant is hereby APPROVED in that the Owner and Applicant are GRANTED a Special Use Permit to add or enlarge their non-conforming Lot and are GRANTED dimensional variances of 6 feet from the required side yard setback of 10 feet in an R-20 Zone under Section 5.3.3.G and 7% relief from the requirement of maximum Lot coverage of 25% in order to construct a carport as presented in the application and SUBEJCT TO AND CONDITIONED UPON

1) any and all conditions placed upon the Owner and Applicant as stated in Exhibit 1 from the Town Engineering Department so that the Sanitary Sewer easement and the storm drain and its drainage pipe are not effected by or restricted by the construction and placement of the carport;

BE IT FURTHER RESOLVED that the Building Official of the Town of Smithfield is hereby authorized to issue the necessary permits and to enforce the terms and conditions of this Resolution.

BY ORDER OF THE SMITHFIELD ZONING BOARD OF REVIEW

S. James Busam, Chairman

APPLICATION APPROVED BY A VOTE OF 5 – 0

FOR:

Chairman S. James Busam, Linda Marcello, Ed Civito, John Hunt, Richard

Leveille

AGAINST:

None

ABSTAINED:None

THIS DECISION WILL BE PUBLICALLY POSTED IN A VISIBLE LOCATION IN THE TOWN HALL FOR A PERIOD OF TWENTY DAYS COMMENCING

June 9 . 2022



If YES, has a Building Permit been refused?

Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

				File#_	23-1	5	Rec'd by:
	FILING FEES	Application fee ph	as total posta	ge cost for a	abutters' ma	iling.	
est, 1730-173	Amt. Paid: \$	Amt. I	Due \$		Date Fee	Paid	
NOT	E: Application	n and documenta	tion shall t	be accepte	ed only in	duplicate]	PDF format
This APPLICATION must a APPLICATION for addition							to Page Four of this
The UNDERSIGNED hereby I HEREBY SUBMIT THE FOLL						AND PUBLIC	HEARING;
1. SPECIAL USE, as pr 2. SVARIANCE from the 3. APPEAL of Building 4. EXTENSION APPLI	application of a re Official, Planning	equirement(s) of the Zo Board Decision, or Zo	ONING ORDI oning enforcen	nent agency.			
APPLICANT: JUSTIN + D PHONE: 508-728-51			ADDRESS:	7 F Sm:	ligh Vie	ew DRI	02917
OWNER: Justin + Desi	rce Vannos	trand	ADDRESS:		-	DRIVE	
PHONE: 506-738-5	128,40-8	37-4518	85	SMI	thfield	, KI	
LESSEE/PURCHASER:existing/proposed PHONE:			ADDRESS				
 Location of Property Size of Lot Dimension 	Street Address:	7 High View	Drive,	Smith Assesso	field or Lot No	Pole # _	
							cres(Sq. Ft) 20,000
3. Zoning Designations	Current Zoning Di	istrict Classification of	Property:	R-M	ld.		
4. Ownership Tenure				1010	lano		
DATE of PURCHASE of							
Will Ownership of said p purposes?Yes □	No 🔽			the APPLIC	ANT for dev	eiopmentai	
5. Developmental Status a		Does Not Apply					
A. Existing Development	_						
Are there any buildings o		resent: Yes No	3				
If YES, how many							
	ize and Use of eac	th building **:					
Building 7	Гуре	Height		Area (Sq.	Ft.)	Use	
(1) Single far	nily	2 stony		2,056)	home	
(2)	<u>, </u>	J		** 			
(3)							
**NOT	E: Use additional	sheet(s) of paper, if ne	cessary.				
B. Proposed Developmen							
Have plans for proposed co		_	ire(s) been sub	mitted to the	Office of the	Smithfield B	ıilding
Official? Yes□	Note	Does Not Apply					

6. SPECIAL USE PERMIT

(Complete this Section only if Box #1 of the Introduction is checked).

Α.	IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.
	·
	·
	·
В.	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL US PERMIT described in above.
C.	DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.
	ZONING ORDINANCE.
	·
	RIANCE (Complete this Section only if Box No. 2 of the Introduction is checked).
	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.
	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU
	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.
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A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU for my parents.
A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU
A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 Square foot ADU for my parents. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested.
A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU for my parents. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested. Table 5.4 Dimensional regulations to construct a
A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU for my parents. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested. Table 5.4 Dimensional regulations to construct a 5 feet relief from side yard set back.
Α.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU for my parents. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested. Table 5.4 Dimensional regulations to construct a 5 feet relief from side yard set back. We Are Askyng For Speet Relief From Side yard.
A .	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested. Table 5.4 Dimensional regulations to construct a 5 feet relief from Side yard Set back.
A. 3.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. We want to construct a 700 square foot ADU for my parents. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFL DESCRIBE applicable regulation of standard and the variance that is requested. Table 5.4 Dimensional regulations to construct a 5 feet relief from side yard set back. We Are Asking For Speet Relief From Side yard.

NA	TURE OF APPEAL (Complete this Section only if Box #3 of the Introduction is checked).
A.	Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).
	1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance:
	2. Basis for Appeal (Cite applicable provisions of ordinance.)
В.	Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.) Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
C.	Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondance, plans, and written decision pertaining to the appeal.) Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
	UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and every detail.
isti	RESPECTFULLY SUBMITTED, NanNostrand & Desiree Van Nostrand Justin Van Nostrand & Desiree Van Nostrand Owner's Name Printed Applicant's Name Printed Applicant's Name Printed Applicant's Name Van Nostrand
X	Owner's Signature Owner's Signature Owner's Signature
GEN?	T/ATTORNEY:
	ADDRESS:
	PHONE:
RE	PRESENTING:
	DATE:

NOTE: One original signed application and eleven copies must be submitted.

アミングペラー REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. Three (3) sets of abutters printed on mailing labels.

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

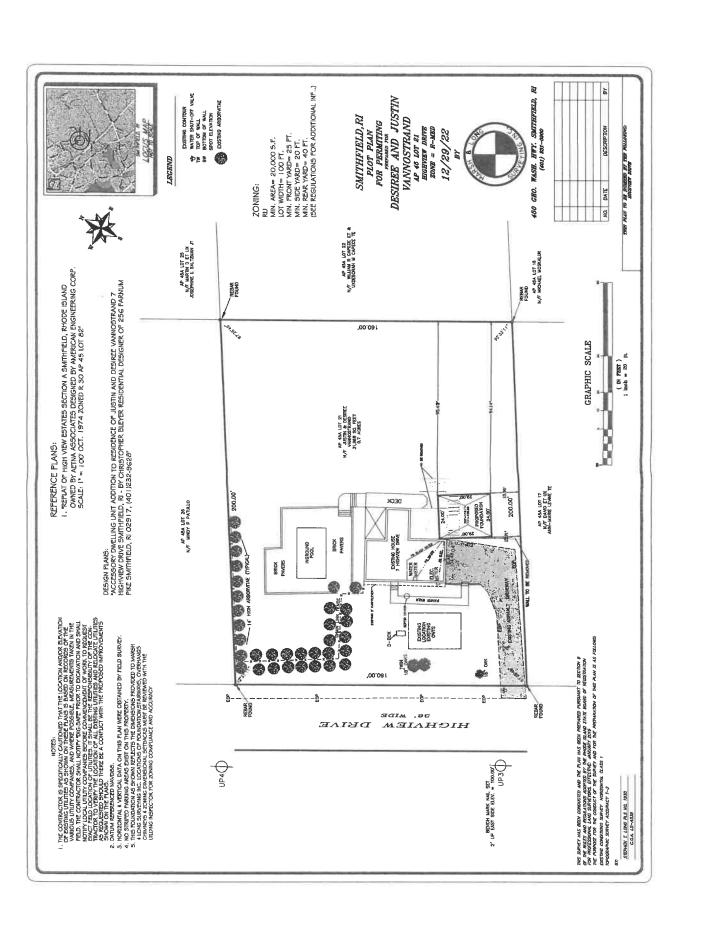
PUBLIC HEARING REQUIREMENT

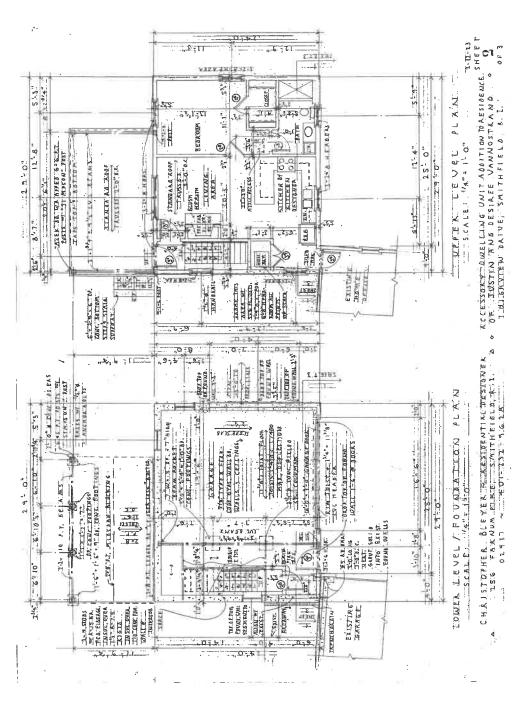
No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

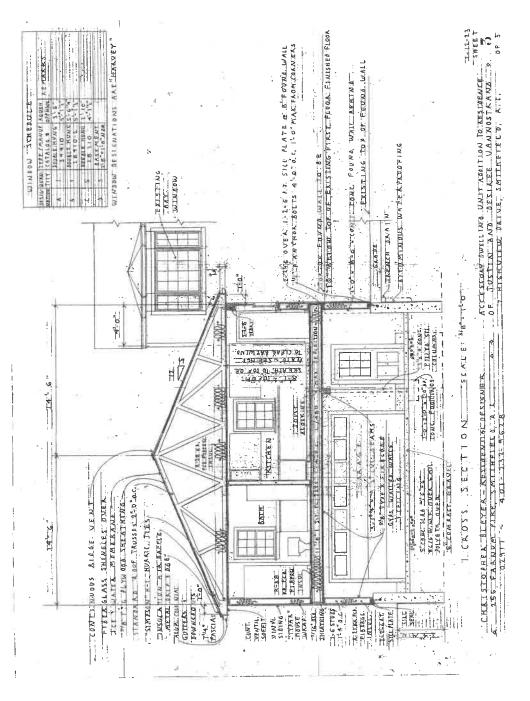
EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

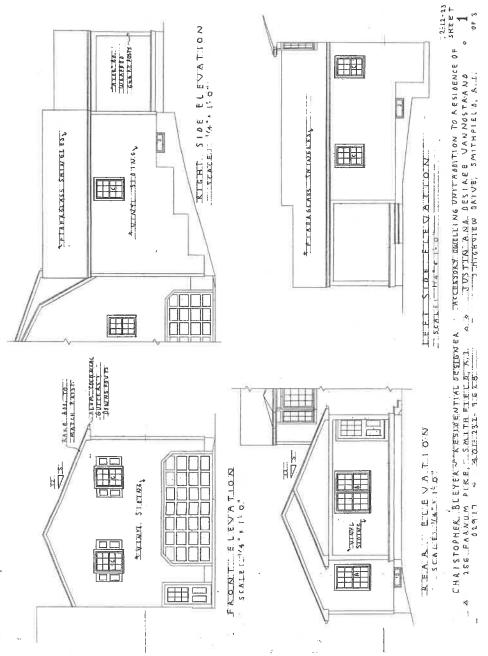
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SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY				
Date Notices Sent to Respective Property Owners:				
Date of Newspaper Notice:	Newspaper	_		









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Abutters Report

Abutters

REM ACCT NUM	REM OWN NAME	REM PRCL LOCK
18-1246-98	GOLONKA JASON A	4 HIGHVIEW DR
13-1638-24	MCDUFF DAVID P ET UX	6 HIGHVIEW DR
04-1935-00	DINGLEY FAMILY TRUST	8 HIGHVIEW DR
16-1622-97	PFEIFFER DARYL M ET UX	10 HIGHVIEW DR
12-1094-65	LAWRENCE PETER A ET UX	12 HIGHVIEW DR
16-0623-81	PARRISH FAMILY TRUST	18 MAUREEN DR
13-3262-66	MOSKALUK MICHAEL	20 MAUREEN DR
03-0622-02	CAPECE WILLIAM R ET UX	22 MAUREEN DR
19-0250-00	SALTZMAN MARTIN D ET UX	24 MAUREEN DR
01-1355-00	ARGENIO ANDREW J JR ET UX	3 SHEILA LANE
12-1443-19	DIGGLE AARON	3 HIGHVIEW DR
12-1680-00	LEVINE DAVID ET UX	5 HIGHVIEW DR
12-2071-50	VANNOSTRAND JUSTIN	7 HIGHVIEW DR
14-0165-03	PATULLO MINDY P	9 HIGHVIEW DR
07-1346-42	GOLATO LIVING TRUST	1 SHEILA LANE

GOLONKA JASON AGOLONKA SHANNON 4 HIGHVIEW DR SMITHFIELD, RI 02917 DIGGLE AARONDIGGLE LAUREN 3 HIGHVIEW DR 5MITHFIELD, RI 02917 PARRISH FAMILY TRUSTPARRISH ERIC G & ABIGAIL S TRUSTEES
18 MAUREEN DR
SMITHFIELD, RI 02917

MOSKALUK MICHAEL 20 MAUREEN DRIVE SMITHFIELD, RI 02917 LEVINE DAVID ET UXANN-MARIE TE 5 HIGHVIEW DRIVE ESMOND, RI 02917 MCDUFF DAVID P ET UXLESLIE TE 6 HIGHVIEW DRIVE SMITHFIELD, RI 02917

DINGLEY FAMILY TRUSTC/O DAVID B & PHYLLIS DINGLEY L/E 8 HIGHVIEW DRIVE SMITHFIELD, RI 02917 CAPECE WILLIAM R ET UXDEBORAH M TE 22 MAUREEN DR ESMOND, RI 02917 SALTZMAN MARTIN D ET UXJOSEPHINE L JT 24 MAUREEN DR ESMOND, RI 02917

PATULLO MINDY P 9 HIGHVIEW DR SMITHFIELD, RI 02917 PFEIFFER DARYL M ET UXRENEE L TE 10 HIGHVIEW DR SMITHFIELD, RI 02917 LAWRENCE PETER A ET UXTAMMI A TE 12 HIGHVIEW DR SMITHFIELD, RI 02917

GOLATO LIVING TRUSTGOLATO JOHN A & LORI A TRUSTEES
1 SHEILA LANE
SMITHFIELD, RI 02917

ARGENIO ANDREW J JR ET UXANNA C 3 SHEILA LANE ESMOND, RI 02917



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

July 26, 2023

Justin and Desiree Vannostrand as applicants and owners of property located at 7 High View Drive, listed as Plat 45A, Lot 21 seek a variance to deviate from § 5.4. Table 1 "Dimensional Regulations" to construct an accessory family dwelling unit in an R - Medium district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings......

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield's Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager's office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.



Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

		File#	23-16	Rec'd by:
FILING FEES	Application fee plus	total postage cost i	for abutters' mailin	g.
Amt. Paid: \$		ie \$		
			2 310 1 40 1 4	
NOTE: Application	and documentat	ion shall be acce	pted only in du	plicate PDF format
his APPLICATION must be completed in f PPLICATION for additional information and				. Refer to Page Four o
he UNDERSIGNED hereby applies to the Smi	-			
HEREBY SUBMIT THE FOLLOWING INFORMA		-	CONSIDERATION AN	D PUBLIC HEARING;
SPECIAL USE, as provided in Section 5 ▼ VARIANCE from the application of a re □ APPEAL of Building Official, Planning □ EXTENSION APPLICATION for reco	equirement(s) of the ZO Board Decision, or Zon	NING ORDINANCE ning enforcement ager		
PPLICANT: All Day Real Estate LLC		ADDRESS: 268 A	lbion Road	
PHONE: (818) 747-5254		Lincol	n, Rhode Island	02865
wner: Jeff Anthony Properties, LLC		ADDRESS: 1525	Mineral Spring	Avenue
PHONE: (401) 419-1007				ode Island 02904
ESSEE/PURCHASER: All Day Real Estat	e LLC	ADDRESS: 268	Albion Road	
xisting/proposed			ln, Rhode Islan	d 02865
PHONE: (818) 747-5254				
. Location of Property Street Address: Assessor Plat No Size of Lot Dimensions: Width 200'		As	sessor Lot No. 048 Total Area: .92	; ; Sq. Ft
. Zoning Designations Current Zoning D			· ·	
Ownership Tenure				
DATE of PURCHASE of the above stated	property by the CURRI	ENT OWNER: May	10, 2022	
Will Ownership of said property be transfe				pmental
purposes?Yes⊠ No□	Does Not Apply[
Developmental Status and Proposal				
A. Existing Developmental State				
Are there any buildings on the property at p	present: Yes⊠No□]		
If YES , how many buildings?2	2			
IDENTIFY the Size and Use of each	ch building **:			
Building Type	Height	Area	(Sq. Ft.)	Use
(1) Wood Frame	20'		1200	Warehouse
(2) Woof Frame	20'		1390	Storage
(3)				
**NOTE: Use additional	sheet(s) of paper, if ne	cessary.		
B. Proposed Development				
Have plans for proposed construction activity	ties for building structu	re(s) been submitted	to the Office of the S	mithfield Building
Official? Yes□ No⊠	Does Not Apply□	. ,		Ü
If YES, has a Building Permit been refused				

6. SPE	CCIAL USE PERMIT (Complete this Section only if Box #1 of the Introduction is checked).
NOTE	E: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.
A.	IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.
	2
В.	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.
C.	DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.
	example of the second s
	# 20 A C ASSESSMENT OF THE PROPERTY OF THE PRO
	FROM THE ASSESSMENT FROM THE PROPERTY AND ASSESSMENT FROM THE PROP
1,00	RIANCE (Complete this Section only if Box No. 2 of the Introduction is checked). IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. Applicant seeks a Use Variance to convert an existing vacant plumbing supply warehouse into a gym/fitness
	center.
В.	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested. Article 4.3 - Land Use Table- does not allow a fitness center in a R-20 zone thereby necessitating the requested variance.
	を必要性の関係があり、後のようなない。 またまでは、一般には、これでは、これでは、これでは、これでは、これでは、これでは、これでは、これで
C.	
	IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1. The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject
	IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1. The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land. The harship is not the result of any prior action of the Applicant or Owner and does not result
	governing the Granting of a VARIANCE as set forth in Section 10-8 C.1. The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject

	1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance:
	Basis for Appeal (Cite applicable provisions of ordinance.)
	Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of correspondence, plans and the written decision pertaining to the appeal.) Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
C.	Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondance, plans, and written decision
	pertaining to the appeal.) Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
/e, the	UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete
rect in	every detail.
rect in	ANTHONY PRODUCTIONS, RESPECTFULLY SUBMITTED,
rect in	HANTHONY PROPERTIES, RESPECTFULLY SUBMITTED, All Day Real Estate-LI
rect in	ANTHONY PRODUCTIONS, RESPECTFULLY SUBMITTED,
rect in	HANTHONY PROPERTIES, RESPECTFULLY SUBMITTED, All Day Real Estate-LI
元の	Owner's Signature ANTHONY PROPERTIES, RESPECTFULLY SUBMITTED. All Day Real Estate Live Applicant's Name Printed Applicant's Name Printed Applicant's Signature Applicant's Signature
元の	Owner's Signature ANTHONY PROPERTIES, RESPECTFULLY SUBMITTED. All Day Regl Estate Live Applicant's Name Printed Applicant's Name Printed Applicant's Signature Applicant's Signature
元の	Owner's Name Printed Owner's Signature T/ATTORNEY: Timothy F. Kane And THENY Properties, RESPECTFULLY SUBMITTED. All Day Real Estate— Applicant's Name Printed Applicant's Signature Applicant's Signature
AGEN	Owner's Name Printed Owner's Signature T/ATTORNEY: Timothy F. Kane Greenville, RI 02828

NOTE: One original signed application and eleven copies must be submitted.

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

- 11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.
- 12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. Three (3) sets of abutters printed on mailing labels.
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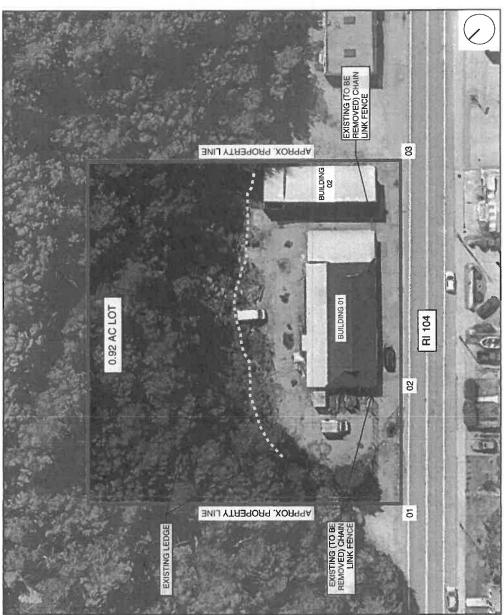
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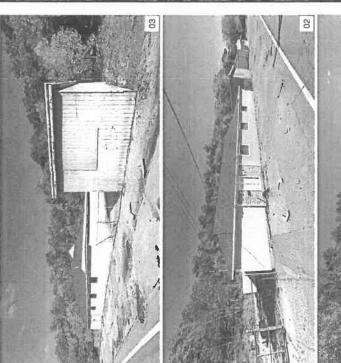
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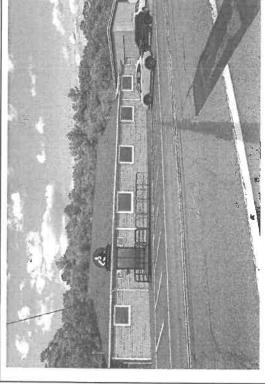
SPACE BELOW RESERVE	D FOR ZONING BOARD OF REVIEW USE ONLY
Date Notices Sent to Respective Property Owners:	
Date of Newspaper Notice:	Newspaper



EXISTING DIAGRAMMATIC SITE PLAN NOT TO SCALE







SCHEMATIC EXTERIOR RENDER N/A

PROPOSED INFORMATION: (OWNER TO MAINTAIN ANYALL REGULATIONS LAID OUT IN GOVERNORS COMMISSION ON DISABILITIES ACCESSIBILTY REQUIRMENTS & ALL ADA GUIDLINES)

PARKING:

TOTAL NUMBER OF ADA SPACES REQUIRED:

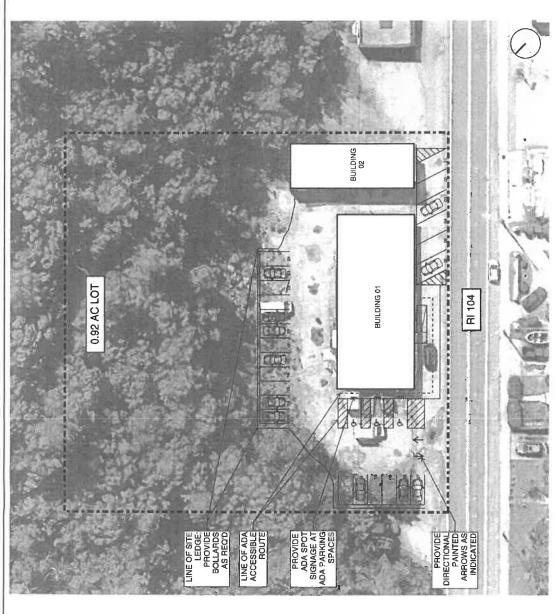
REQUIRED: 1 ADA SPOT (1-25 SPACES) PROVIDED: 3 ADA SPOTS

24 NEW PARKING SPACES

3 NEW ADA PARKING SPACES 27 TOTAL PARKING SPACES PROVIDED

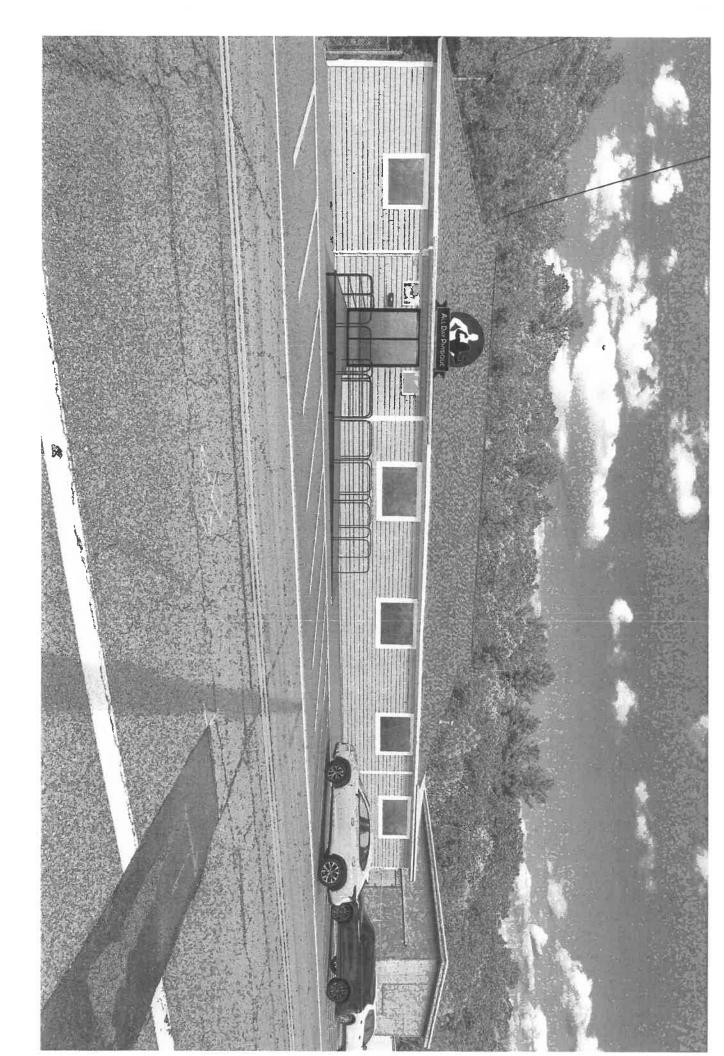
DIMENSIONS:
PARKING SPACES (INCLUDING ADA) TO BE MINIMUM 96" IN WIDTH.
ACCESSABLE ROUTE BETWEEN ADA SPACES TO BE MINIMUM 60".
ACCESSABLE ROUTE AT HEAD OF PARKING SPACES TO BE PROVIDED.

PROPOSED SITE INFORMATION N/A



PROPOSED DIAGRAMMATIC SITE PLAN NOT TO SCALE

313 WATERMAN AVENUE Smithfield, RI 02917





64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

July 26, 2023

All Day Real Estate LLC as applicant and Jeff Anthony Properties, LLC as owner of property located at 313 Waterman Avenue, listed as Plat 26, Lot 48 seek a use variance to deviate from § 4.3.I.4 and 4.4.I.4 "Personal Service Establishments" to operate a gym/fitness center in an R-20 district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.......

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Abutters Report

Abutters

REM ACCT NUM	REM_OWN_NAME MURPHY MICHAEL T ET UX ANDREWS BARBARA J THURLEY WILLIAM J ET UX COSTA KAYLA E DILEONARDO STEVEN DOMENI ALMUHTASEB SAMIR S MURPHY MICHAEL T ET UX MURPHY MICHAEL T ET UX JEFF ANTHONY PROPERTIES L GRIFFIN PROPERTY MANAGEM GOULD BRIAN T ET AL LACOSTE DENISE J ANTHONY ROBERT F ET UX NOTARDONATO REBECCA A KANE DAVID A DICKSON ERICA B SNYDER DONNA L DECL OF TR FORCHIONE JAMES J COSTA FAMILY IRREVOCABLE MARCEL G & MICHELLE T DUM LEONARD FRANK V ET UX TURMELL JOSEPH ZISK FAMILY TRUST PESARE LAURA I REVOC LIVI MALOOF RONALD W JR ET UX THORNLEY WILLIAM R ET UX EICHNER RICHARD D ET UX POTENZA MARSHA LAWRENCE J MANCINI TRUST FISHBEIN STANLEY H LIVING ZANNINI ALFRED ET UX MANGIARELLI RALPH JR REVO BARBOUR BRIAN M ET UX ROMOLI MICHAEL P ET UX MULBERRY FAMILY REV LIV T KURECK GERALDINE J L/E LEONA LIPET REVOCABLE TRU SPIEGLER MICHAEL D DECL O BOFFA JAMES E II FURTADO JEFFREY J HANN DOUGLAS C KRUMWIEDE TIMOTHY G MARANDOLA ROBERT A ET UX	REM_PRCL_LOCN
13-3517-51	MURPHY MICHAEL T ET UX	324 WATERMAN AVE
06-1026-16	ANDREWS BARBARA J	322 WATERMAN AVE
20-0732-20	THURLEY WILLIAM J ET UX	320 WATERMAN AVE
06-0610-37	COSTA KAYLA E	318 WATERMAN AVE
03-1530-00	DILEONARDO STEVEN DOMENI	©316 WATERMAN AVE
01-0644-07	ALMUHTASEB SAMIR S MURPHY MICHAEL T ET UX	314 WATERMAN AVE
13-3517-50	MURPHY MICHAEL T ET UX	312 WATERMAN AVE
13-3517-48	MURPHY MICHAEL T ET UX	308 WATERMAN AVE
03-2729-00	JEFF ANTHONY PROPERTIES L	313 WATERMAN AVE
37-0700-05	GRIFFIN PROPERTY MANAGEM	B07 WATERMAN AVE
07-1531-65	GOULD BRIAN T ET AL LACOSTE DENISE J ANTHONY ROBERT F ET UX	305 WATERMAN AVE
04-1601-00	LACOSTE DENISE J	1 INTERVALE RD
04-1027-43	ANTHONY ROBERT F ET LIX	3 INTERVALE RD
14 0729 04	NOTARDONATO RESECCA A	5 INTERVALE RD
19-07-30-04	KANE DAVID A	7 INTERVALE RD
10-1223-30	DICKEON EDICA B	Q INTERVALE RD
10,0005,00	CHYPER DONNA I DECLOSE TR	11 INTEDVALE RD
19-2235-00	SNIDER DONNAL DECLOP IN	12 INTEDVALE NO
06-07/3-71	COCTA FAMILY IDDEVOCABLE	15 INTEDVALE RD
03-3549-64	MARGEL C & MICHELLE TOUM	17 INTEDVALE RD
04-2942-14	MARCEL G & MICHELLE 1 DOM	17 INTERVALE RD
12-1492-80	LEUNARD FRANK V ET UX	19 INTERVALE RD
20-1296-50	TURMELL JUSEPH	21 INTERVALE RD
26-0124-24	ZISK FAMILY TRUST	23 INTERVALE RD
20-0369-23	PESARE LAURA I REVOC LIVI	25 INTERVALE RD
13-0389-01	MALOOF RONALD W JR ET UX	27 INTERVALE RD
20-0674-98	THORNLEY WILLIAM R ET UX	11 RIMWOOD DR
05-0147-69	EICHNER RICHARD D ET UX	13 RIMWOOD DR
16-2472-92	POTENZA MARSHA	15 RIMWOOD DR
13-0437-60	LAWRENCE J MANCINI TRUST	17 RIMWOOD DR
06-0926-59	FISHBEIN STANLEY H LIVING	19 RIMWOOD DR
26-0058-02	ZANNINI ALFRED ET UX	21 RIMWOOD DR
13-0508-30	MANGIARELLI RALPH JR REVO	23 RIMWOOD DR
02-0377-05	BARBOUR BRIAN M ET UX	25 RIMWOOD DR
18-1441-50	ROMOLI MICHAEL P ET UX	27 RIMWOOD DR
13-3403-50	MULBERRY FAMILY REV LIV T	29 RIMWOOD DR
11-1150-00	KURECK GERALDINE J L/E	31 RIMWOOD DR
12-1864-09	LEONA LIPET REVOCABLE TRU	33 RIMWOOD DR
19-2493-34	SPIEGLER MICHAEL D DECL O	35 RIMWOOD DR
13-0910-04	BOFFA JAMES E II	32 RIMWOOD DR
19-0453-44	FURTADO JEFFREY J	30 RIMWOOD DR
08-0777-25	HANN DOUGLAS C	28 RIMWOOD DR
11-1100-02	KRUMWIEDE TIMOTHY G	26 RIMWOOD DR
13-0603-12	MARANDOLA ROBERT A ET UX	24 RIMWOOD DR
07-1454-44	GORGONE RAYMOND A ET UX	22 RIMWOOD DR
02-0503-84	BARRON MARY T IRREVOCABL	
16-1148-75	PELOSI RICHARD A & DENISE	18 RIMWOOD DR
04-1779-90	DICHIARO ROBERT ET UX	16 RIMWOOD DR
04-2088-54	RICCI DAVID P	14 RIMWOOD DR
16-0438-67	ALVES MARIA FERNANDES MAI	
12-2118-67	LOVELY DENNIS J ET UX	10 RIMWOOD DR
12-2110-01	LOTEL DEMMO ET ON	

18-1544-94 04-0160-88 03-3580-50 19-0166-38 20-0004-23 10-0034-14 20-6547-75 03-2704-50 11-0156-74 13-0191-21 22-0417-14 26-0057-54 19-1034-13 12-1545-49 01-0996-32 13-2215-84 20-1030-00 13-3462-18 13-2432-97 02-1618-02 13-0064-01 02-1232-24 02-0522-80 13-0351-25 16-2217-14 02-2840-06 01-0179-48 19-0277-35 22-0552-55 16-0007-62 04-2162-99 16-0122-12 19-0708-10 02-1582-94 01-0274-67 18-0801-94 13-0235-50 16-0537-09 12-1099-45 03-1431-70	ROSSS STEFAN LIV TR AGMN	8 RIMWOOD DR
04-0160-88	DAMBRA LINDA A COSTELLO MARY ST PIERRE FAMILY TRUST	6 RIMWOOD DR
03-3580-50	COSTELLO MARY	4 RIMWOOD DR
19-0166-38	ST PIERRE FAMILY TRUST	2 RIMWOOD DR
30-0004-23	TRUSZKOWSKI FAMILY TRUST	1 CAMBRIDGE CIRCLE
10 0034 14	JALBERT MARGARET M REV TR	3 CAMBRIDGE CIRCLE
10-0034-14 20 6547 75	KELLY FAMILY INCOME-ONLY	5 CAMBRIDGE CIRCLE
20-0347-73	MIIDDLY DALII	7 CAMBRIDGE CIRCLE
03-2704-30	TDACK CHADON E	9 CAMBRIDGE CIRCLE
11-0150-74		11 CAMBRIDGE CIRCLE
13-0191-21	DEMINDED NICOLE A ET ALT	13 CAMBRIDGE CIRCLE
22-0417-14	MURPHY PAUL TRASK SHARON E MADDEN DONNA M REMINDER NICOLE A ET AL T ZANNI BENJAMIN ET UX SHEA ALICIA B LIVING TRUS	15 CAMPBIDGE CIPCLE
26-0057-54	CHEA ALICIA DI MINO TORIC	17 CAMPBIDGE CIRCLE
19-1034-13	CAWLEY FREDERICK	17 CAMPRIDGE CIRCLE
12-1545-49	CAVVLEY FREDERICK	19 CHIVIDRIDGE CIRCLE
01-0996-32	ANGARELLA RICHARD R REVOC	21 CAMBRIDGE CIRCLE
13-2215-84	MEIER MARY L/E	23 CAMBRIDGE CIRCLE
20-1030-00	DAVIDSON ELENA A	25 CAMBRIDGE CIRCLE
13-3462-18	MEIER MARY L/E DAVIDSON ELENA A MURPHY DENNIS M MICIELI RICHARD A FAMILY BOCKMILLER JOANNE	27 CAMBRIDGE CIRCLE
13-2432-97	MICIELI RICHARD A FAMILY	29 CAMBRIDGE CIRCLE
02-1618-02	BOCKMILLER JOANNE	31 CAMBRIDGE CIRCLE
13-0064-01	MACERA GERALD G & BETHAN	33 CAMBRIDGE CIRCLE
02-1232-24	NARDELLA LINDA L	35 CAMBRIDGE CIRCLE
02-0522-80	HOLLENBECK KATHLEEN M REV	/37 CAMBRIDGE CIRCLE
13-0351-25	MAJOR WILLIAM E ET UX	39 CAMBRIDGE CIRCLE
16-2217-14	PLOCIAK EDMUND & BARBARA	41 CAMBRIDGE CIRCLE
02-2840-06	JEFFREY BROWNELL LIVING T	43 CAMBRIDGE CIRCLE
01-0179-48	ADAMO CARL J ET UX	45 CAMBRIDGE CIRCLE
19-0277-35	SAMSON LEONARD L ET UX	47 CAMBRIDGE CIRCLE
22-0552-55	ADAMO CARL J ET UX SAMSON LEONARD L ET UX VISCIONE PHILIP V ET UX PRITIKIN ELLIOTT ET UX DISANTO RAYMOND REV TR	49 CAMBRIDGE CIRCLE
16-0007-62	PRITIKIN ELLIOTT ET UX	51 CAMBRIDGE CIRCLE
04-2162-99	DISANTO RAYMOND REV TR	53 CAMBRIDGE CIRCLE
16-0122-12	PAGLIARINI STEPHEN W ET U	55 CAMBRIDGE CIRCLE
19-0708-10	SCOTT WALTER J	57 CAMBRIDGE CIRLCE
02-1582-94	BLICKWEDEL LIVING TRUST	
01-0274-67	AFLAGUE JOHN REVOCABLE LI	34 CAMBRIDGE CIRCLE
18-0801-94	RICCI CATHY A ET AL MAGLIOZZI STEPHEN	32 CAMBRIDGE CIRCLE
13-0235-50	MAGLIOZZI STEPHEN	30 CAMBRIDGE CIRCLE
16-0537-09	PARKER DONALD & CAROL L/E	28 CAMBRIDGE CIRCLE
12-1099-45	BOGER KATHRYN A	26 CAMBRIDGE CIRCLE
03-1431-70	NICODEMUS KATHYRYN	24 CAMBRIDGE CIRCLE
16-0285-07	PAULINU ALAN A L I UA	22 CAMBRIDGE CIRCLE
14-0429-72	YEAW REVOCABLE LIVING TRU	
18-0803-37	RICCI CHRISTOPHER J	18 CAMBRIDGE CIRCLE
22-0423-97	VIEIRA JANE	16 CAMBRIDGE CIRCLE
04-1098-79	DELSESTO IRREVOCABLE TRUS	
04-1363-00	DERCOLE ROBIN ZANOWSKI PAUL C	12 CAMBRIDGE CIRCLE
01-0870-01	ZANOWSKI PAUL C	10 CAMBRIDGE CIRCLE
02-1582-79	BLEYER FAMILY IRREVOC TRU	8 CAMBRIDGE CIRCLE
04-2156-24	DISANTO DIANE TURBITT BERNICE C	6 CAMBRIDGE CIRCLE
20-1256-64	TURBITT BERNICE C	4 CAMBRIDGE CIRCLE
03-2599-83	FERRARO JEFFERY R	2 CAMBRIDGE CIRCLE
13-3100-24	MORETTI JAMES O REVOCABLE	E22 ALPINE RIDGE
01-0155-04	TOPPI FAMILY REVOCABLE LI	
19-2378-25	SPAMENI KATHLEEN A	18 ALPINE RIDGE
16-0660-50	PARYS JOSEPH H ET UX	16 ALPINE RIDGE
02-0061-84	BAESZLER CAROLYN H	14 ALPINE RIDGE
08-0473-75	CHARLENE HARRINGTON REVO	OC2 ALPINE RIDGE

07-0693-00	GENTILE ALBERT L/E	
03-2954-20		8 ALPINE RIDGE
04-1328-97	DEPASTINA EDWARD T JR ET	6 ALPINE RIDGE
02-0019-30	PENTA DOMENIC J	4 ALPINE RIDGE
13-1843-49	MCKEE RICHARD P ET UX	2 ALPINE RIDGE
12-1575-05	LEPORE ANN	1 ALPINE RIDGE
07-0029-08	MCDERMOTT JOHN C	3 ALPINE RIDGE
13-0447-50	DONOGHUE MARY GALVIN	5 ALPINE RIDGE
11-0972-99	KOSACZ FRANK B L/E	7 ALPINE RIDGE
11-0725-51	PENTA DOMENIC J MCKEE RICHARD P ET UX LEPORE ANN MCDERMOTT JOHN C DONOGHUE MARY GALVIN KOSACZ FRANK B L/E KING JUDITH C	9 ALPINE RIDGE
13-0388-02	WALOUF KUNALD W & GEREWII	II ALFINE NIDGE
13-0382-84	MALONEY CATHERINE A TAINSH ALAN A ET UX	13 ALPINE RIDGE
20-0087-44	TAINSH ALAN A ET UX	1 RIMWOOD DR
04-0185-87	DAMIANO PAUL W JT PROPERT	
18-0941-90	RICO ROBERT & BARBARA L/	
13-2255-94	MELLODY JOYCE L REVOCABLE	7 RIMWOOD DR
13-2460-95	MIERNICKI PATRICIA LYNN CATHERINE P FERRI COLLEEN B SIRAVO FAMILY TRUST	9 RIMWOOD DR
12-2407-02	LYNN CATHERINE P	24 INTERVALE RD
06-0715-12	FERRI COLLEEN B	22 INTERVALE RD
19-1502-57	SIRAVO FAMILY TRUST	20 INTERVALE RD
16-1251-18	PERREAULT STEPHEN JET UX	18 INTERVALE RD
18-1410-94	ROMANO BEVERLY A CHIN WALTER K ET UX	16 INTERVALE RD
03-1889-38	CHIN WALTER K ET UX	14 INTERVALE RD
04-0814-50	DECRISTOFARO NICHOLAS JR	12 INTERVALE RD
04-0087-79	THE THOMAS FAMILY TRUST	
20-8273-87	PAULHUS GERALD M & LUCILE	
02-3240-98		6 INTERVALE RD
22-0500-06	VILLELLA FAMILY REVOCABLE	
19-1905-15	SMITH JAMES R JR REV LIV	2 INTERVALE RD
CONDOMAIN	AMENDED DECLARATION	1-27 ALPINE RIDGE
05-0435-03		40 MAPLE AVE
34-0100-00	TOWN OF SMITHFIELD	LAND ALONG RIVER



PHONE:

existing/proposed PHONE:

4. Ownership Tenure

purposes?Yes

Application to Smithfield RI Zoning Board of Render to SPECIAL USE, VARIANCE OR APPEA

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File# FILING FEES Application fee plus total postage cost for abutters' mailing. Amt. Paid: \$ Amt. Due \$ NOTE: Application and documentation shall be accepted only in duplicate PDF format This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION. The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following: I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING; 1. SPECIAL USE, as provided in Section 5.0 of the ZONING ORDINANCE. 2. X VARIANCE from the application of a requirement(s) of the ZONING ORDINANCE. 3. APPEAL of Building Official, Planning Board Decision, or Zoning enforcement agency. 4. ☐ EXTENSION APPLICATION for recorded decision. Year 1 ☐ Year 2 ☐ Year 3 ☐ APPLICANT: Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 ADDRESS: 20445 Emerald Parkway Drive SW, Suite 220 Cleveland, Ohio 44135 PHONE: (216) 458-0670 OWNER: Same as Above ADDRESS: LESSEE/PURCHASER: N/A ADDRESS: Location of Property Street Address: 400 George Washington Highway Pole # Assessor Plat No. 48 Assessor Lot No. 4C; Size of Lot Dimensions: Width __292______ Depth: __490_____ Total Area: __6.47__ Acres/Sq. Ft. _281,833 DATE of PURCHASE of the above stated property by the CURRENT OWNER: ____12/8/2021 Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental Does Not Apply X

Developmental Status and Proposal

A. Existing Developmental State

Are there any buildings on the property at present: Yes⊠No□

If YES, how many buildings? 11

IDENTIFY the Size and Use of each building **:

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	Steel	11'	4540	Storage
(2)	Steel	11'	4543	Storage
(3)	Steel	11'	4543	Storage

^{**}NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building

Official? Yes NoX Does Not Apply □ If YES, has a Building Permit been refused? Yes No

5. Developmental Status and Proposal-Continued

A. Existing Developmental State

Building Type	<u>Height</u>	Area (Sq. Ft.)	<u>Use</u>
(4) Masonary	11'	2411	Storage
(5) Steel	11'	4537	Storage
(6) Steel	11'	6300	Storage
(7) Steel	11'	13,833	Storage
(8) Steel	11'	2732	Storage
(9) Steel	11'	10,794	Storage
(10) Steel	11'	4834	Storage
(11) Steel	11'	5450	Storage

6: SPECIAL USE PERMIT	(Complete this Section only if Box $\#1$ of the Introduction is checked).

NOTE:	For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.				
A.	IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.				
В.	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.				
C.	DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.				
7. VAI	RIANCE (Complete this Section only if Box No. 2 of the Introduction is checked).				
A.	IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.				
	Applicant proposes to remove the existing 2,411 sf office building and replace it with a 3-story climate controlled self-storage building with 18,446 GSF/Floor and a total GSF of 55,338.				
	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY				
	DESCRIBE applicable regulation of standard and the variance that is requested. 4.3 TABLE OF USES-SECTION (J)(6), Section 9.4.8, TABLE 3 –EGO LAND USES as a Self-Storage Facility is not permitted in a Hightway Commercial district or in the Economic Growth Overlay District. Also Section				
	3.7 EXISTENCE BY VARIANCE OR SPECIAL USE PERMIT which allows expansion or enlargement by further variance.				
	IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria				
	governing the Granting of a VARIANCE as set forth in Section 10-8 C.1. The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land. The hardship is				
	not the result of any prior action of the Applicant or Owner and does not result primarily from the desire of the Applicant				
	to realize greater financial gain. The granting of the requested variance will not after the general characteristics of the				
	surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town. The				
8	relief to be granted is the least relief necessary.				

A.	
	Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).
	1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance:
	2. Basis for Appeal (Cite applicable provisions of ordinance.)
8.	Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)
	Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
C.	Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondance, plans, and written decision
•	pertaining to the appeal.)
	Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)
/Wa th	INDED SIGNED, guess that all information provided in this ADDITION is to the heat of MV/OHD brounded and the second
/We, the	e UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and
/We, the	n every detail.
correct in	e UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and nevery detail. RESPECTFULLY SUBMITTED, ed Storage Ventures 73, LLC dba Compass Self Storage 282 Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282
orrect is	n every detail. RESPECTFULLY SUBMITTED,
Amsdo	RESPECTFULLY SUBMITTED, all Storage Ventures 73, LLC dba Compass Self Storage 282 Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 Owner's Name Printed
Amsde	RESPECTFULLY SUBMITTED, all Storage Ventures 73, LLC dba Compass Self Storage 282 Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 Owner's Name Printed Applicant's Name Printed
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Amade Amade dell Stor	RESPECTFULLY SUBMITTED, all Storage Ventures 73, LLC dba Compass Self Storage 282 Owner's Name Printed See Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager Amsdell Storage Ventures 73,
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NOTE: One original signed application and eleven copies must be submitted.

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

- 11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.
- 12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. Three (3) sets of abutters printed on mailing labels.
- 12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.
- 12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

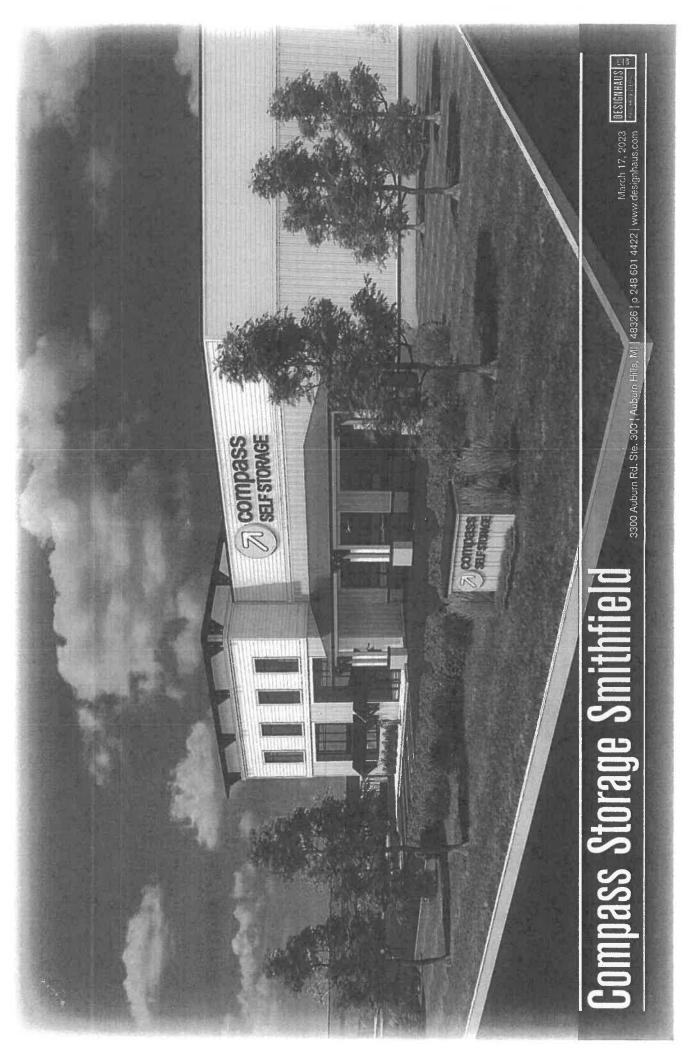
PUBLIC HEARING REQUIREMENT

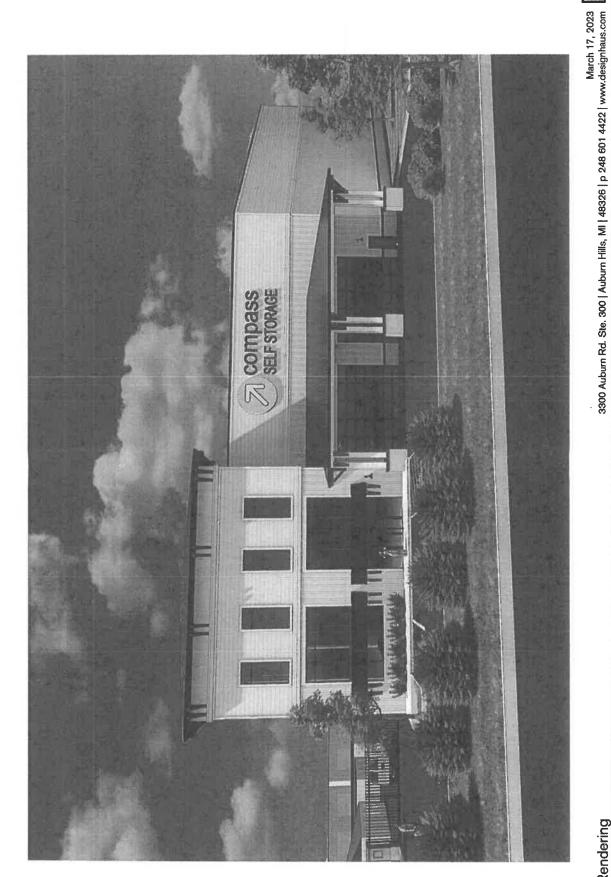
No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire one (1) year from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

	SPACE BELOW RESERVED FOR ZONING	G BOARD OF REVIEW USE ONLY	
Date Notices Sent to Respective Property Owners:			
Date of Newspaper Notice:		Newspaper	





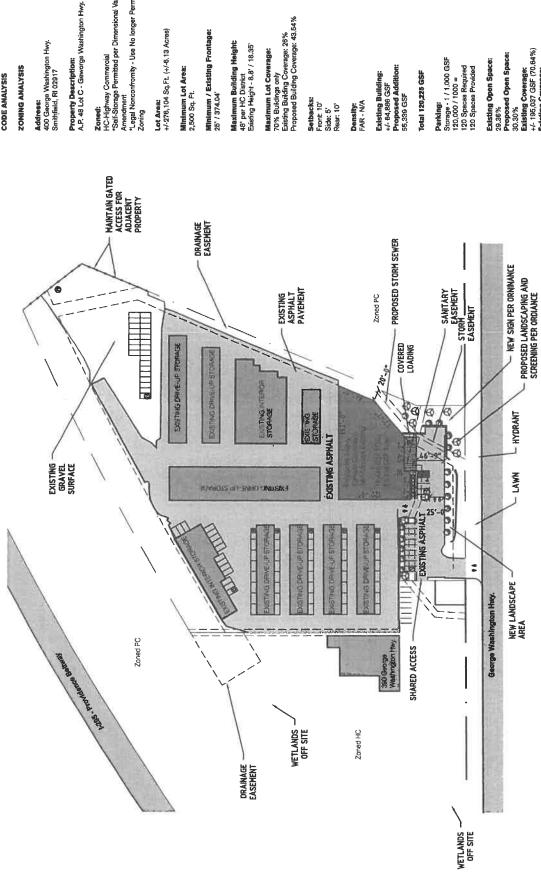
Jonothan Steele Amsdell Companies 20455 Emerald Parkway, Suite 200 Cleveland, OH 44135 216.458.0670

Architectural Team

Designhaus Architecture LLC 3300 Aubum Rd Ste. 300 Aubum Hills, MI 48326 248.601.4422

Chief Architect: Peter Stuhlreyer AIA





CODE ANALYSIS

ZONING ANALYSIS

Address: 400 George Washington Hwy. Smittyfield, RI 02917

Zoned:
HC-Highway Commercial
*Self-Storage Permitted per Dimensional Variance and

Amendment *Legal Nonconfromity - Use No longer Permitted Under Current Zoning

Lot Area: +/-276,104 Sq.Ft. (+/-6.13 Acres)

Winimum / Existing Frontage: 25' / 374.04' Minimum Lot Area: 2,500 Sq. Ft.

Maximum Building Height: 48' per HC District Existing Height - 8.8' / 18.35'

Maximum Lot Coverage: 70% Buildings only Existing Building Coverage: 26% Proposed Building Coverage: 43.54%

Setbacks: Front: 10' Side: 5' Rear: 10'

Density: FAR - N/A

Existing Building: +/- 64,886 GSF Proposed Addition: 55,339 GSF

Total 120,225 GSF

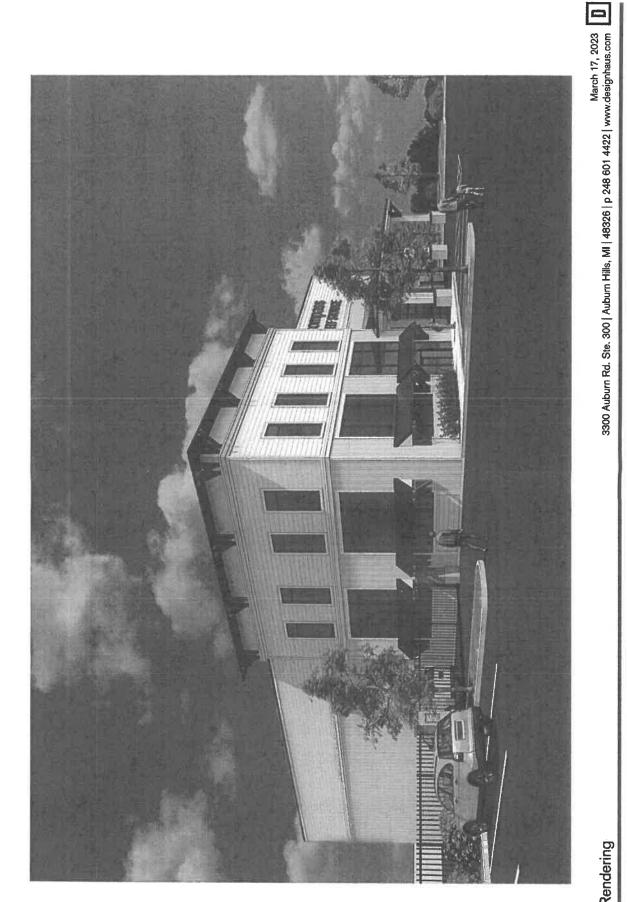
Storage - 1 / 1,000 GSF 120,000 / 1000 = 120 Spaces Required 120 Spaces Provided Parking:

Existing Open Space:
92.85%
Proposed Open Space:
30.30%
4/- 196.037 GSF (70.84%)
Existing Coverage:
4/- 196.037 GSF (70.84%)
Proposed Coverage:
4/- 192.448 GSF (70.84%)

3300 Auburn Rd. Ste. 300 | Auburn Hills, MI | 48326 | p 248 601 4422 | www.designhaus.com

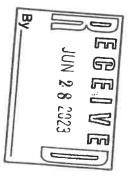
Site Plan

March 17, 2023 | March



STATE OF RHODE ISLANDATTN: CENTRAL SERVICES/STATE PROPERTIES 1 CAPITOL HILL PROVIDENCE, RI 02908

295 REALTY ASSOCIATES LLCC/O WILLIAM STAMP 1744 ATWOOD AVE JOHNSTON, RI 02919



5



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

July 26, 2023

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 as applicant and owner of property located as 400 George Washington Highway, listed as Plat 48, Lot 4C seeks variances to deviate from § 4.3.J.6 and 4.4.J.6 "Storage Facility not including Truck Terminal", 9.4.8 Table 3 "Ego Land Uses" and 3.7 "Existence By Variance or Special Use Permit" to demolish the existing office building and construct a self-storage building in a Highway Commercial/ Economic Growth Overlay district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.......

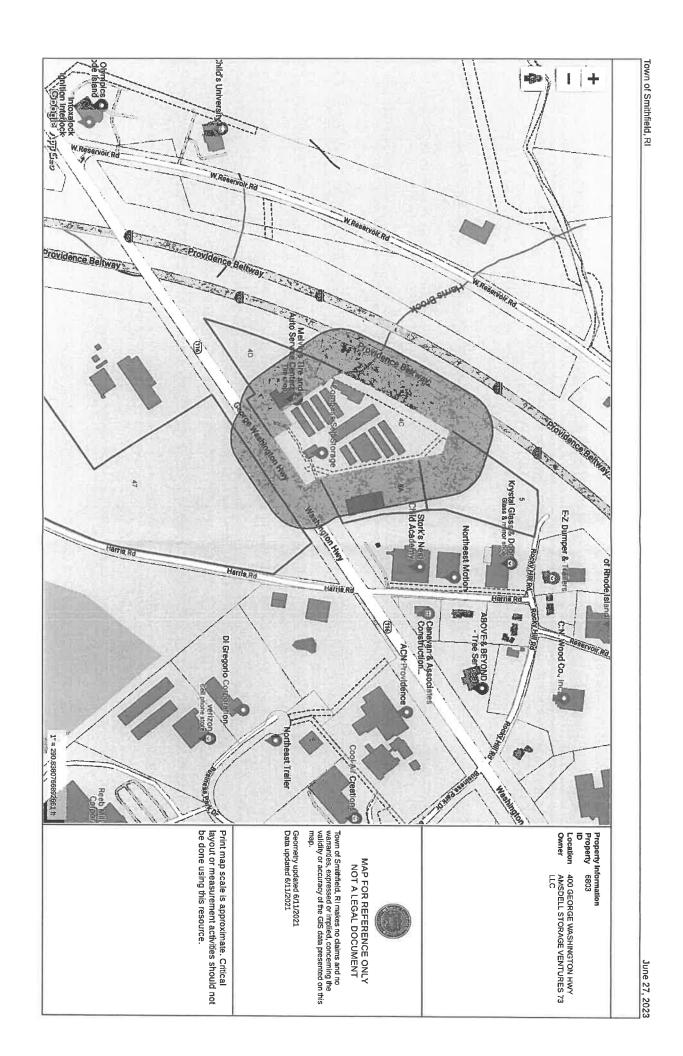
Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield's Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager's office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.

Town of Smithfield, RI Abutters Report

200ft. Abutters of Property 6803

at 400 GEORGE WASHINGTON HWY Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated 6/11/2021.





Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 029

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- 11	ומ					- 13

File#

Application fee plus total postage cost for abutters' mailing. FILING FEES

Amt. Due \$ Amt. Paid: \$

Date Fee Paid:

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING;

2. 3.	SPECIAL USE, as provided in Section 5.0 of the ZONING ORDINANCE. □ VARIANCE from the application of a requirement(s) of the ZONING ORDINANCE. □ APPEAL of Building Official, Planning Board Decision, or Zoning enforcement agency. □ EXTENSION APPLICATION for recorded decison. Year 1 □ Year 2 □ Year 3 □
	PPLICANT: RICHARD + Elles Fortaine address: (2) Burlingame Pd
I	PHONE: 401-231-1803 Smithfield, RI 02917
0	WHER: FONTATHE FAMILY TOUST ADDRESS: 62 BUCKINGOME PL
	HONE SONITHIELD, RI 08917
LI	SSEE/PURCHASER: ADDRESS: isting/proposed
	PHONE:
1.	Location of Property Street Address: (2 Bus linguage Pd Pole #
2.	Size of Lot Dimensions: Width Depth: Total Area: Acres/Sq. Ft. 1.5 Personal Acres/Sq.
3.	Zoning Designations Current Zoning District Classification of Property: R-8D
4.	Ownership Tenure DATE of PURCHASE of the above stated property by the CURRENT OWNER: 9 20 20 20 20 20 20 20 20 20 20 20 20 20
	Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental
	purposes?Yes□ No□ Does Not Apply□
5.	Developmental Status and Proposal
	A. Existing Developmental State
	Are there any buildings on the property at present: Yes No
	If YES, how many buildings?
	IDENTIFY the Size and Use of each building **:
	Building Type Height Area (Sq. Ft.) Use
	(1) Dwelling 1,500 SF Single Family Home
	(2) SHED STORGE
	(3) CASPOST 400 S.F. Derice Stock

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building

Official? Yes Z No□ Does Not Apply If YES, has a Building Permit been refused?

6	SPECIAL	L USE	PERMIT
n		LUSIC	

(Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning

Ordinance must accompany application. A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested. B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above. C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE (Complete this Section only if Box No. 2 of the Introduction is checked). VARIANCE A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested. B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested. C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

	TURE OF APPEAL (Complete this Section only if Box #3 of the Introduction is checked).	
Α.		
	Date of denial/issuance of permit or date of alleged error in enforcement of ordinance:	
	Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies correspondence, plans and the written decision pertaining to the appeal.) Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)	of all
5 2 3		
	Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondance, plans, and written decision pertaining to the appeal.)	_
	Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)	
(b).		
:- :+		_
		=
correct in e	UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complet every detail.	e and
1	mrataine taughtees	
C. (CS 1	Owner's Name Printed Applicant's Name Printed	
Ele - 4	Tour Grand Ctarte Same	
Care de la company de la compa	Owner's Signature Applicant's Signature	
AGENTA	VATTORNEY:	
	ADDRESS:	
	PHONE:	
REP	RESENTING:	
	DATE:	

NOTE: One original signed application and eleven copies must be submitted.

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

- 11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.
- 12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. Three (3) sets of abutters printed on mailing labels.
- 12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.
- 12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

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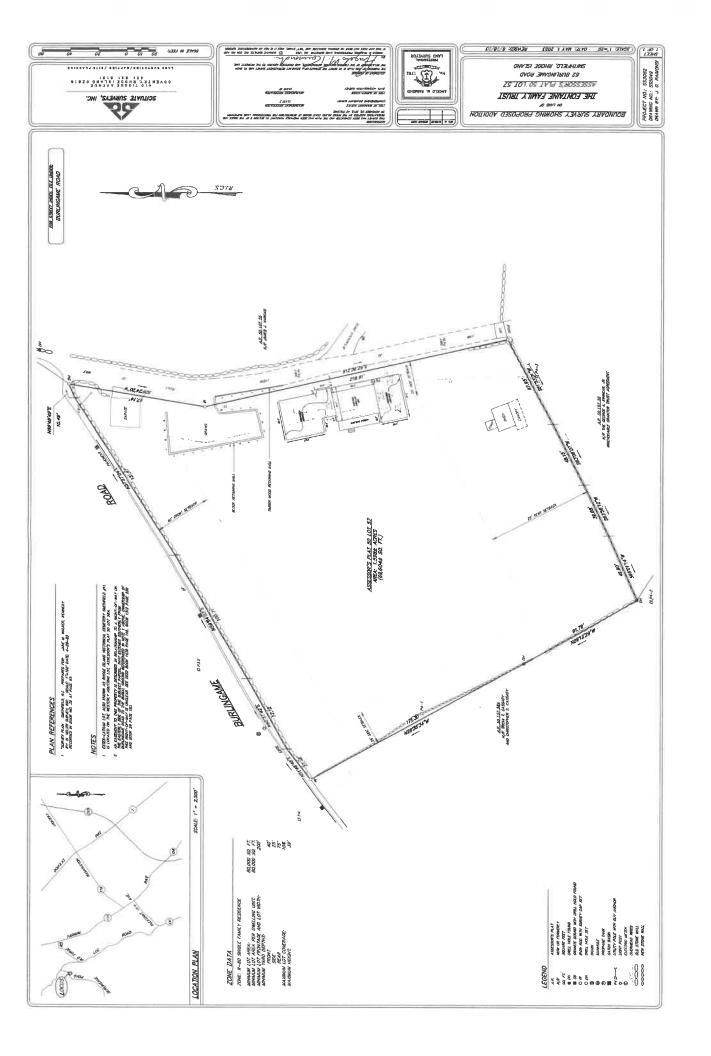
PUBLIC HEARING REQUIREMENT

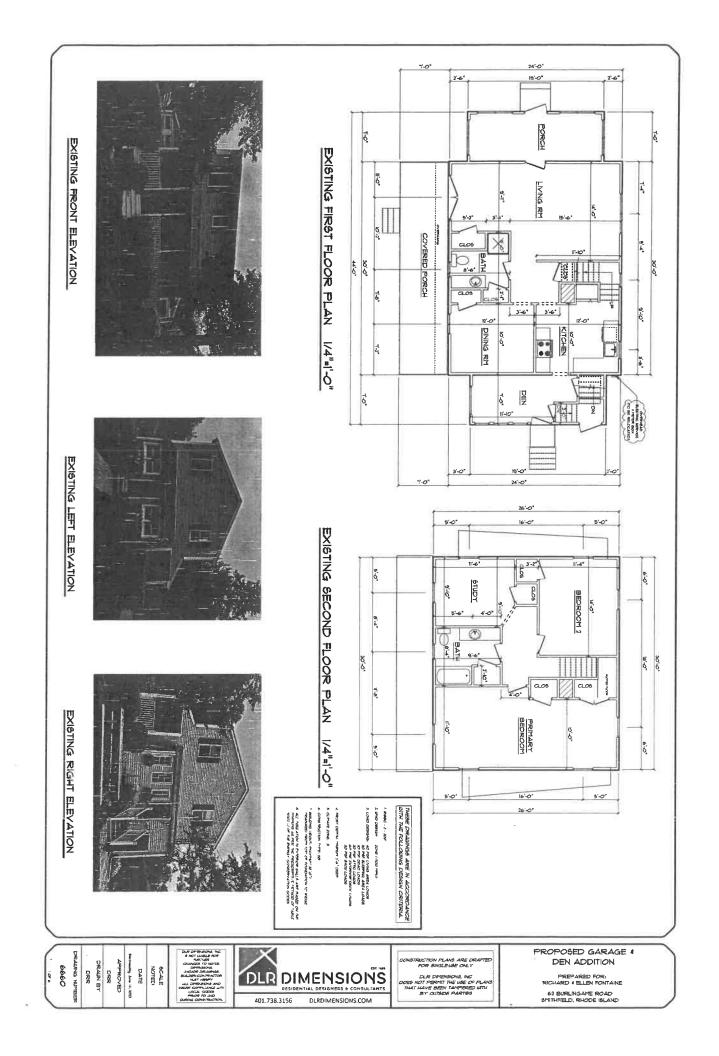
No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

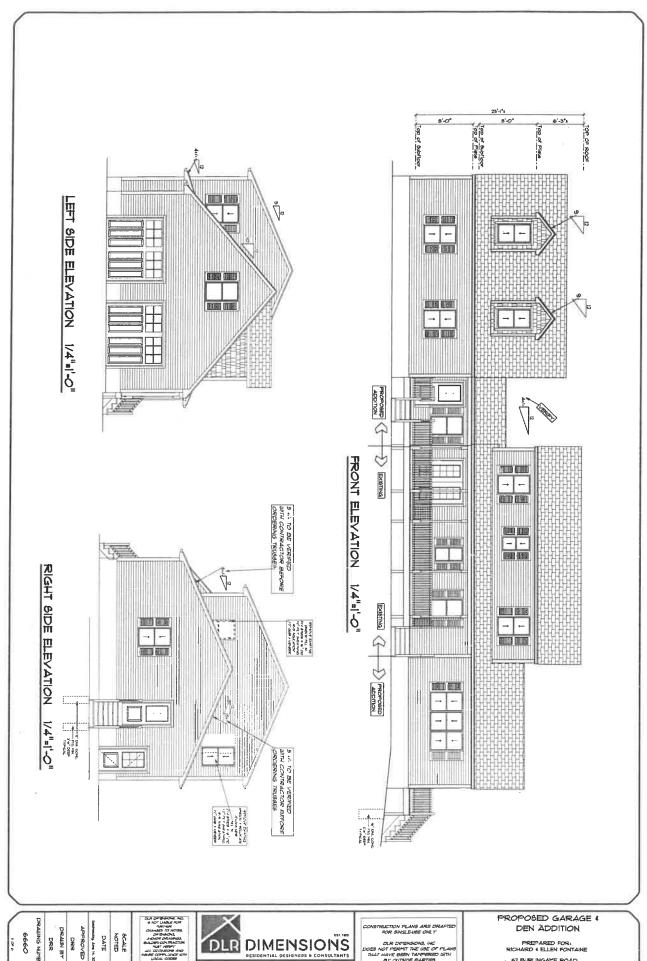
EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire one (1) year from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY				
Date Notices Sent to Respective Property Owners:				
Date of Newspaper Notice:	Newspaper			







DRAWING NUMBER DATE

MODELLAND IA. 203

APPROVED

DRR

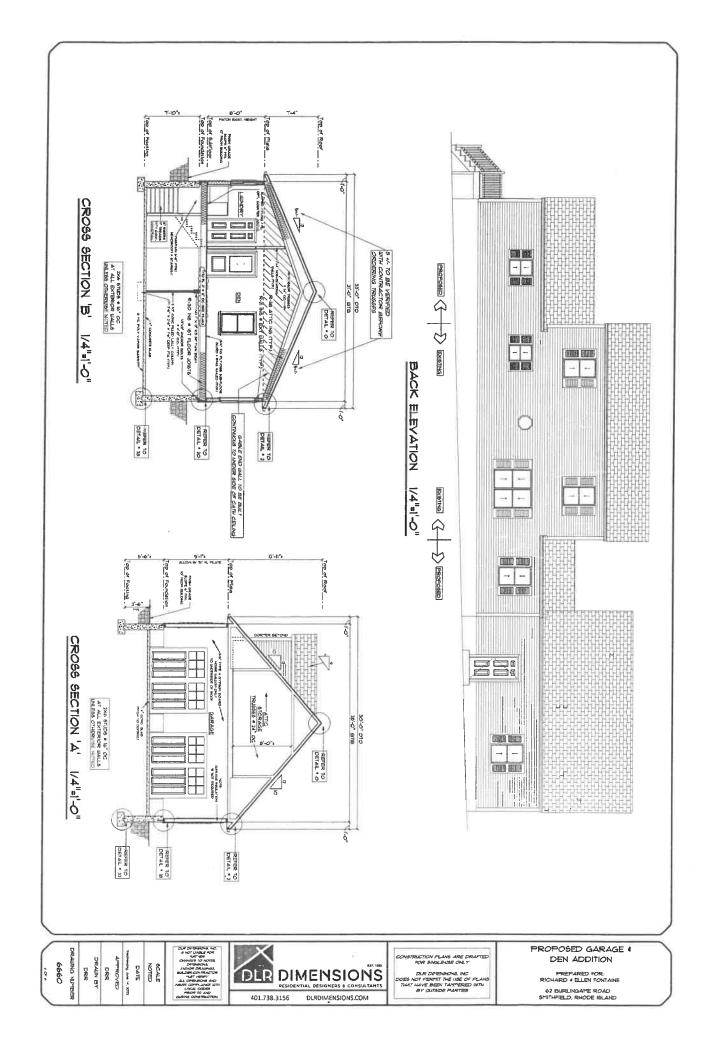
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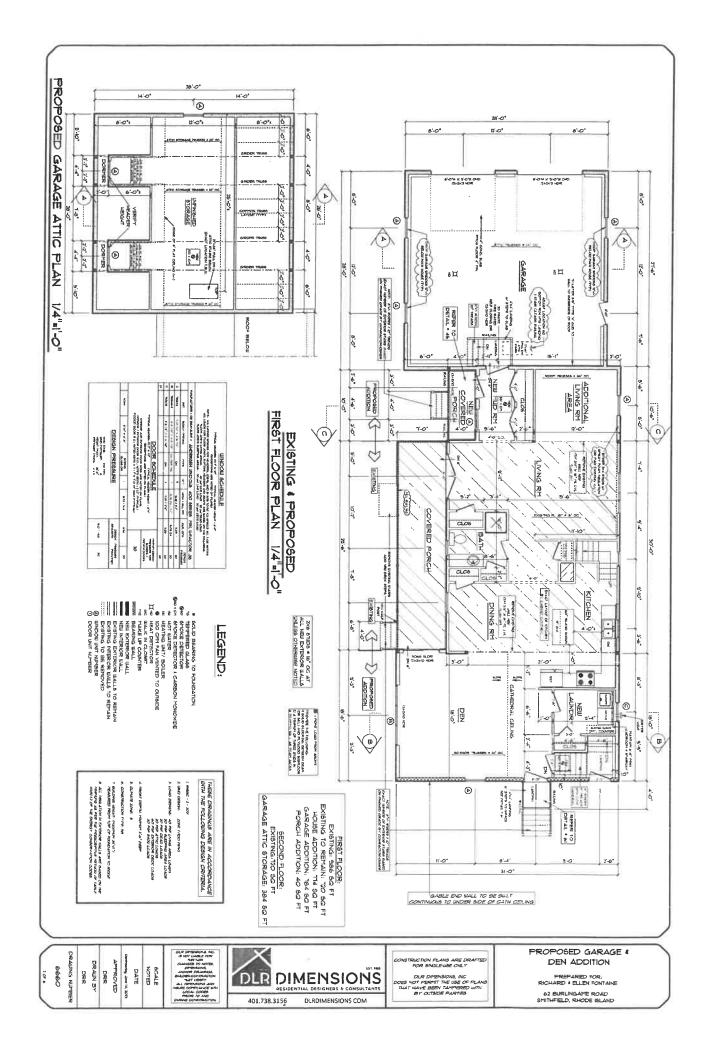
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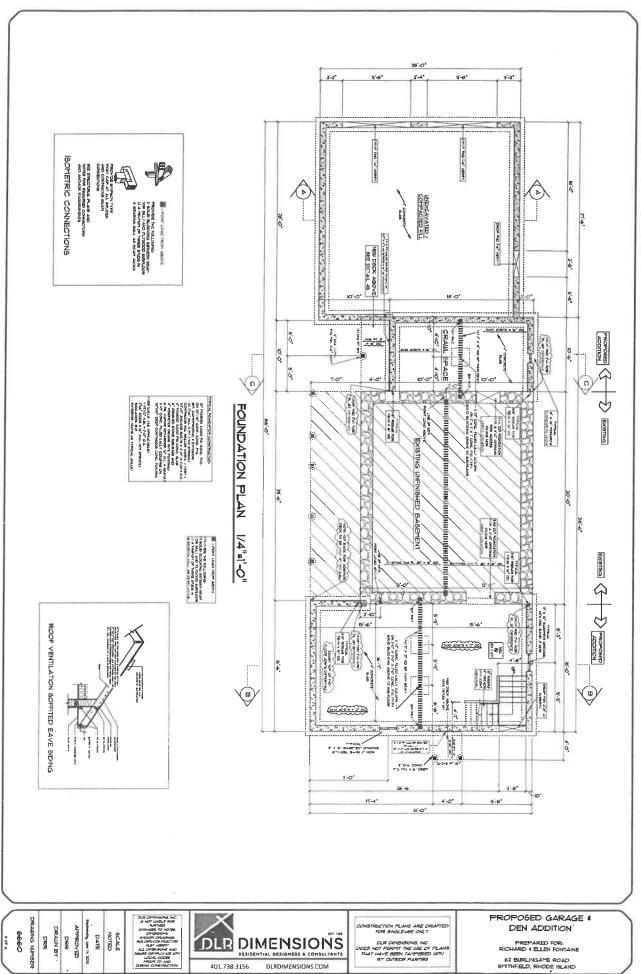


. 62 BURLINGAME ROAD 8MITHFIELD, RHODE ISLAND

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Abutters Report

Abutters

REM ACCT NUM	REM OWN NAME	REM PRCL LOCK
19-1137-00	SHILKO JOHN A ET UX	61 BURLINGAME RD
04-0020-93	DABATE MELISSA A ET VIR	63 BURLINGAME RD
03-3593-20	COTE RONALD M ETUX	52 BURLINGAME RD
11-0755-00	KINNEAR GEORGE JR IRREV G	60 BURLINGAME RD
22-0210-36	VARGAS JAMES J	58 BURLINGAME RD
06-1210-21	FONTAINE FAMILY TRUST	62 BURLINGAME RD
03-1185-11	CASSADY TRICIA T ET VIR	64 BURLINGAME RD
18-0677-98	FILIPPI CHRISTOPHER N	68 BURLINGAME RD
01-0502-00	ALLARD LACROIX ASHLEY D	274 LOG RD
16-0622-80	PARRILLO ANGELA J LIVING	51 BURLINGAME RD
10-0022 00		

ALLARD LACROIX ASHLEY D 274 LOG RD SMITHFIELD, RI 02917

PARRILLO ANGELA J LIVING TRUSTRONALD J 11 & ANGELA J PARRILLO TRUSTEES P O BOX 153 GREENVILLE, RI 02828

COTE RONALD M ETUXSUZANNE F.TE All of the section of the Surlingame RD 1771 of 112 or SMITHFIELD, RI 02917

VARGAS JAMES J 58 BURLINGAME RD SMITHFIELD, RI 02917 KINNEAR GEORGE JR IRREV GRANTOR FILIPPI CHRISTOPHER NHICKS KATHLEEN L.
TRUSTKINNEAR KATHLEEN IRREV GRANTOR TRUST 14 AUBURN AVE **60 BURLINGAME RD** SMITHFIELD, RI 02917

JOHNSTON, RI 02919

CASSADY TRICIA T ET VIRCASSADY CHRISTOPHER \$ **64 BURLINGAME RD** SMITHFIELD, RI 02917

SHILKO JOHN A ET UXKATHLEEN B TE 61 BURLINGAME ROAD **ESMOND, RI 02917**

DABATE MELISSA A ET VIRJUSTIN A TE 63 BURLINGAME RD SMITHFIELD, RI 02917



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

July 26, 2023

Richard and Ellen Fontaine as applicants and Fontaine Family Trust as owner of property located at 62 Burlingame Road, listed as Plat 50, Lot 57 seek a special use under § 3.9.D "Building Or Structure Nonconforming by Dimension, Addition and Enlargement", 3.13.A "Special Use Permit For Expansion, Addition, Or Enlargement, Structure or Use of Structure", 4.5 "Dimensional Relief by Special Use Permit" to construct an attached garage with living space in an R-80 district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

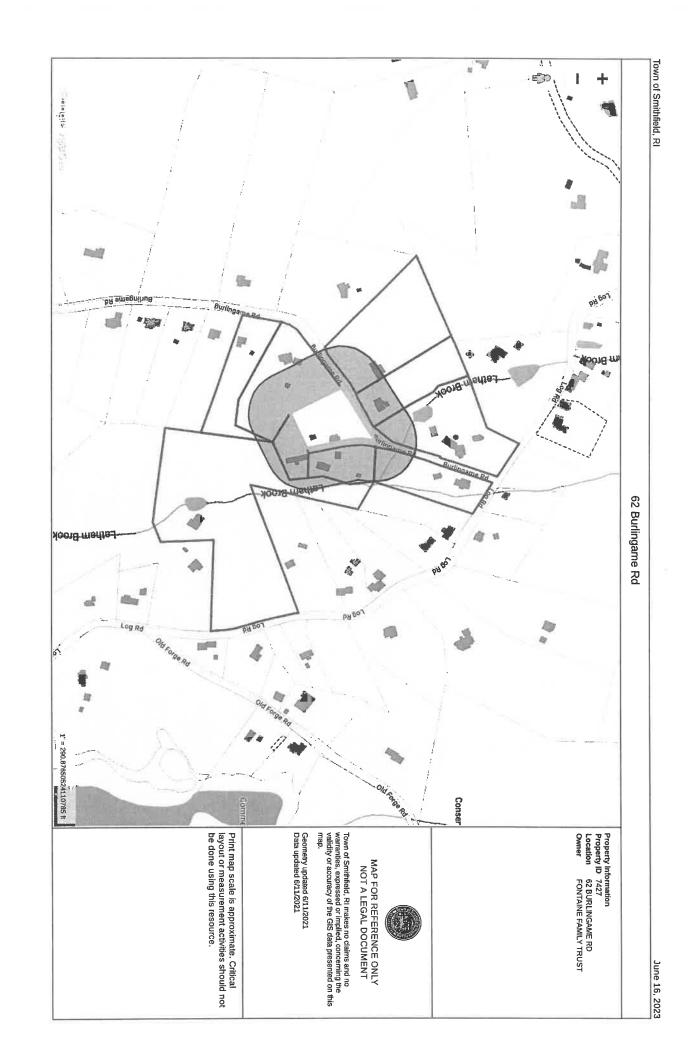
By Order of the Zoning Board of Review

S. James Busam Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.......

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield's Building Official, address listed above.

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Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

				File#	23-18	Rec'd by:
	FILING FEES	Application fee plu	s total posta	ge cost for a	butters' mailin	g.
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NOT	E: Application	and documenta	tion shall b	e accepte	d only in du	plicate PDF format
This APPLICATION must APPLICATION for addition	be completed in ful al information and t	l prior to being con naterials required fo	nsidered by ti or submission	he Zoning L with the AP	Board of Review PLICATION,	. Refer to Page Four of th
The UNDERSIGNED hereby I HEREBY SUBMIT THE FOLI	• •					D PUBLIC HEARING;
1. ☐ SPECIAL USE, as pr 2. ☐ VARIANCE from the 3. ☐ APPEAL of Building 4. ☐ EXTENSION APPLI	application of a required official, Planning B	nirement(s) of the ZC pard Decision, or Zo	ONING ORDI	ient agency.		
APPLICANT: The Washington	on Trust Company o	o Dennis Algiere	ADDRESS:	23 Broad	Street	and the company of th
PHONE:				Westerly	, RI 02891	
OWNER: W/S Smithfield	Associates LL	С	ADDRESS:	33 Boyls	ton Street, S	Guite 3000
PHONE:						467
LESSEE/PURCHASER:cxisting/proposed	AN . 11 F A		ADDRESS.			
PHONE:	0.1.000 m (1.00m)				4	Area 2- Material Control of the State of State o
 Location of Property Size of Lot Dimension Zoning Designations Ownership Tenure DATE of PURCHASE of Will Ownership of said p 	Assessor Plat No. 4 ns: Width Variab Current Zoning Dist f the above stated pr	3	Variable Property: C	Assessor Tot (Comments: 11/02/2	or Loi No. 21D al Area: 53.18 rcial)	Acres/Sq. Ft. Acres
purposes?Yes□	No	Does Not Apply				
5. Developmental Status a	nd Proposal					
A. Existing Developm	ental State	,				
Are there any buildings of If YES, how many IDENTIFY the S		*Propinctude	oosed improve de the closest	building to P	s application only utnam Pike Detai not included below	
Building'		Height		Area (Sq.		Use
(i) Commercia	l Building	of all departments of the district day		9505	Retai	il/Restaurant
(2)	indicate and a second s	the Personal Assessment 1	the second section of the second second	dante, i siggeriorpalantinan e	y offi a y gent	
(3)					****	%, 6 - Alliford Prints
	E: Use additional sh	eet(s) of paper, if ne	cessary.			
B. Proposed Developme						
Have plans for proposed of	/		re(s) been sub	mitted to the	Office of the Sm	ithfield Building
Official? Yes□		Does Not Apply				
If YES, has a Building Pe	rmit been refused?	Yes□No□				

8. NATURE OF APPEAL

(Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).					
1. Date of denial/issuance of	1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance:					
2. Basis for Appeal (Cite ap)	olicable provisions of ordinance.)					
- management - 1 a grant highlift discountering						
WF 68F 13F1			di di pingan			
• -	itting Board of Review from an action written decision pertaining to the ap		(NOTE: attach copies of all			
Basis for Appeal (Cite applic	able ordinance provisions and any oth	er date in support of appeal.)				
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pertaining to the appeal.)	ent Agency decision. (NOTE: attach		and written decision			
Basis for Appeal (Cite appli	cable ordinance provisions and any ot	her date in support of appeal.)				
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	John Programme Control Control	## (MARKET-1979) # =				
delete						
		er meger andere en	Minimizer			
I/We, the UNDERSIGNED, swear tha	t all information provided in this AF	PLICATION is to the best of MY/0	OUR knowledge complete and			
correct in every detail.		<u>\</u>	. 4.			
Lou Masiello	RESPECTFULLY SUBM	Voinnis (L. Aljier, EVP			
Its: Senior Vice Presid	dent Asset Strategy and	Development T				
Owner's Name Printed DocuSigned by:		Applicant's No	nir Vegited			
111		Mein K_	Mui			
8755330CADEA4367 S Signature		Applicant's S	ignifule			
For WS Asset Management	[]		V			
AGENT/ATTORNEY: JOSON	Breman, Esq.					
ADDRESS: 51 Je	Fferson Blud., Suite	400				
Warw	ick, RI 02888					
email:	Jbrennan 810 @gmail	.com				
REPRESENTING: APPIN	ant & Owner					
DATE: OL/	34/303					
•	II.F					

	CIAL USE PERMIT (Complete this Section only if Box #1 of the Introduction is checked).					
NOTE:	For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zonin Ordinance must accompany application.					
Α.	IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested. A portion of the building closest to Pulnam Pike is transitioning from a restaurant into a bank with no window service.					
₿.	LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USI PERMIT described in above. Article 4, Section 4.3, Table of Uses, Zoning Uses 7B.					
C.	DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C,2 and 3 of the					
	ZONING ORDINANCE. In granting the special use permit, the general character of the surrounding area and lots will not be effected.					
	A Secretary of the Control of the Co					
VAF	RIANCE (Complete this Section only if Box No. 2 of the Introduction is checked).					
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-4

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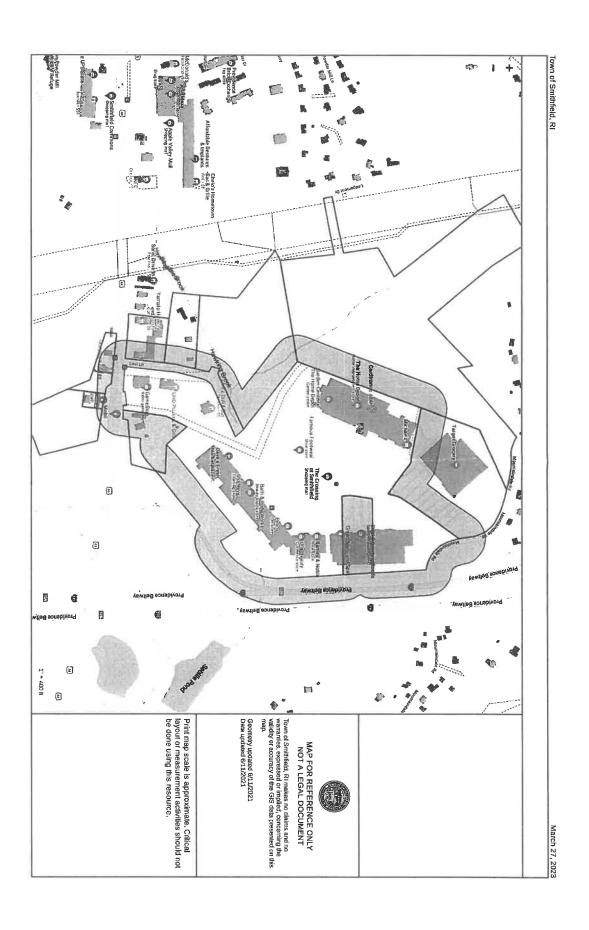
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Date Notices Sent to Respective Property Owners:		
Date of Newspaper Notice:	Newspaper	

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY



Allez à avery ca/diple

PI 100242

W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467

PI 3428

GLOBAL COMPANIES LLCC/O ALLIANCE ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL ROAD BRANFORD, CT 06405

PI 3438

375 PUTNAM PIKE LLC 63 ATLANTIC AVE BOSTON, MA 02110

PI 4297

INTERCHANGE REALTY LLCC/O STEPHEN A CARDI ATTNY 400 LINCOLN AVE WARWICK, RI 02888 Etiquettes d'adresse Easy Peel

LLC

HILLTOP SMITHFIELD EAST LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917

RONCI REALTY ASSOCIATES LLC 20 CEDAR SWAMP RD

SMITHFIELD, RI 02917

PI 4289
GLOBAL SIGNAL ACQUISITIONS IV LLC

PMB 331- 4017 WASHINGTON RD MCMURRAY, PA 15317

PI 4464

ALBA PROPERTIES LLC 20 LEVI LANE SMITHFIELD, RI 02917 PI 3426

PI 3429

GLOBAL COMPANIES LLCC/O ALLIAI ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL ROAD BRANFORD, CT 06405

HILLTOP SMITHFIELD LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917

W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917 (401) 233-1039

S. James Busam, Chairman

July 26, 2023

The Washington Trust Company c/o Dennis Algiere as applicant and W/S Smithfield Associates LLC as owner of property located at 371 Putnam Pike, listed as Plat 43, Lot 21D seek a special use permit under § 4.3.G.7B and 4.4.G.7 "Bank Without Window Service" to renovate an existing building to operate a bank with no window service in a Commercial district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.......

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield's Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager's office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.

Town of Smithfield, RI Abutters Report

200ft. Abutters of Property 4290 at 371 PUTNAM PIKE

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated 6/11/2021.

Abutter	Site Address	Property ID	Owner Address
100242 W/S SMITHFIELD ASSOCIATES OP OWNER LLC	371 PUTNAM PIKE	100242	W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467
3426 HILLTOP SMITHFIELD EAST LLC	348 PUTNAM PIKE	3426	HILLTOP SMITHFIELD EAST LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917
3427 GLOBAL COMPANIES LLC	364 PUTNAM PIKE	3427	GLOBAL COMPANIES LLCC/O ALLIANCE ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL ROAD BRANFORD, CT 06405
3428 GLOBAL COMPANIES LLC	368 PUTNAM PIKE	3428	GLOBAL COMPANIES LLCC/O ALLIANCE ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL NROAD BRANFORD, CT 06405
3429 RONCI REALTY ASSOCIATES LLC	370 PUTNAM PIKE	3429	RONCI REALTY ASSOCIATES LLC 20 CEDAR SWAMP RD SMITHFIELD, RI 02917
3434 HILLTOP SMITHFIELD LLC	363 PUTNAM PIKE	3434	HILLTOP SMITHFIELD LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917

Town of Smithfield, RI Abutters Report

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ALBA PROPERTIES LLC 20 LEVI LANE SMITHFIELD, RI 02917	4464	20 LEVI LANE	ALBA PROPERTIES LLC
INTERCHANGE REALTY LLCC/O STEPHEN A CARDI ATTNY 400 LINCOLN AVE WARWICK, RI 02888	4297	0 MOUNTAINDALE RD	4297 INTERCHANGE REALTY LLC
W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467	4291	371 PUTNAM PIKE	4291 W/S SMITHFIELD ASSOCIATES OP OWNER LLC
GLOBAL SIGNAL ACQUISITIONS IV LLC PMB 331- 4017 WASHINGTON RD MCMURRAY, PA 15317	4289	0 LEVI LANE	4289 GLOBAL SIGNAL ACQUISITIONS IV LLC
375 PUTNAM PIKE LLC 63 ATLANTIC AVE BOSTON, MA 02110	3438	375 PUTNAM PIKE	3438 375 PUTNAM PIKE LLC

WASHINGTON TRUST, PUTNAM PIKE WESSESSOR'S RAD 43 LOT SID SMITHELD, BHODE ISLAND

COVER SHEET

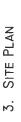
SPECIAL USE PERMIT

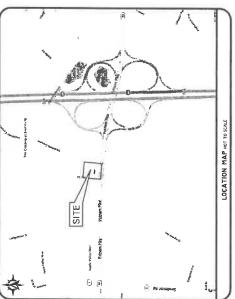
WASHINGTON TRUST
371 PUTNAM PIKE
SMITHFIELD, RI

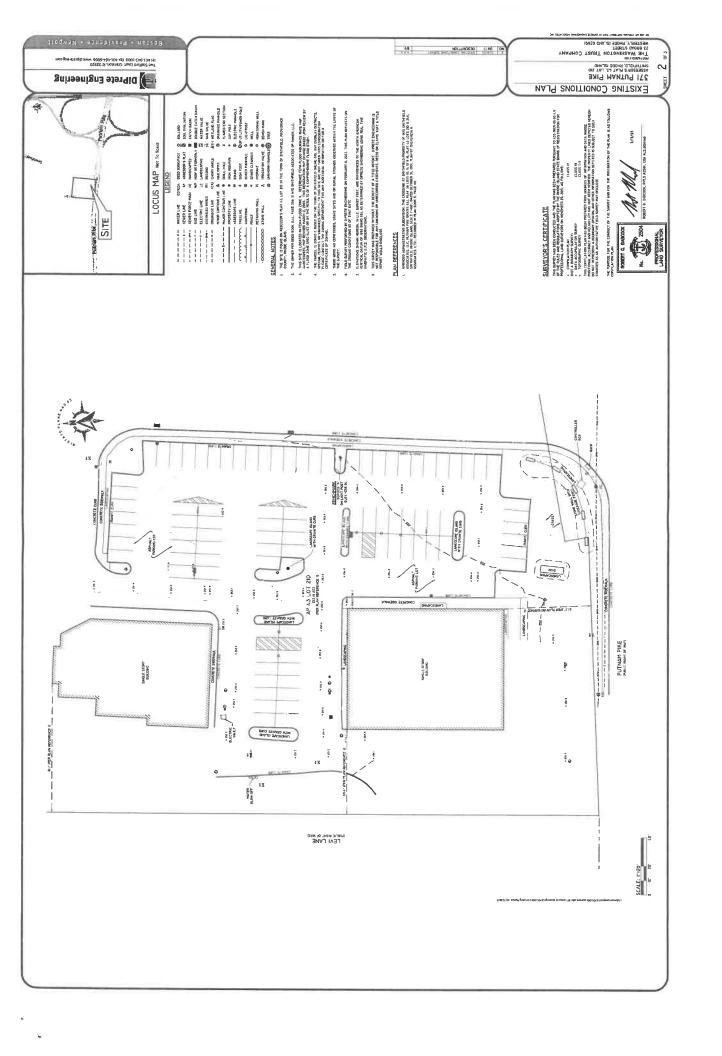
ASSESSOR'S PLAT 43 LOT 21D

SHEET INDEX

COVER SHEET
 EXISTING CONDITIONS PLAN
 SITE PLAN







Britee Engineering

SITE PLAN
WASHINGTON TRUST, PUTNAM PIKE
ASSESSARS AND AS 12 LOT 780
SMITHFIELD, RHODE SLAND

PROPOSED WASHINGTON TRUST BANK (4,612± SF)

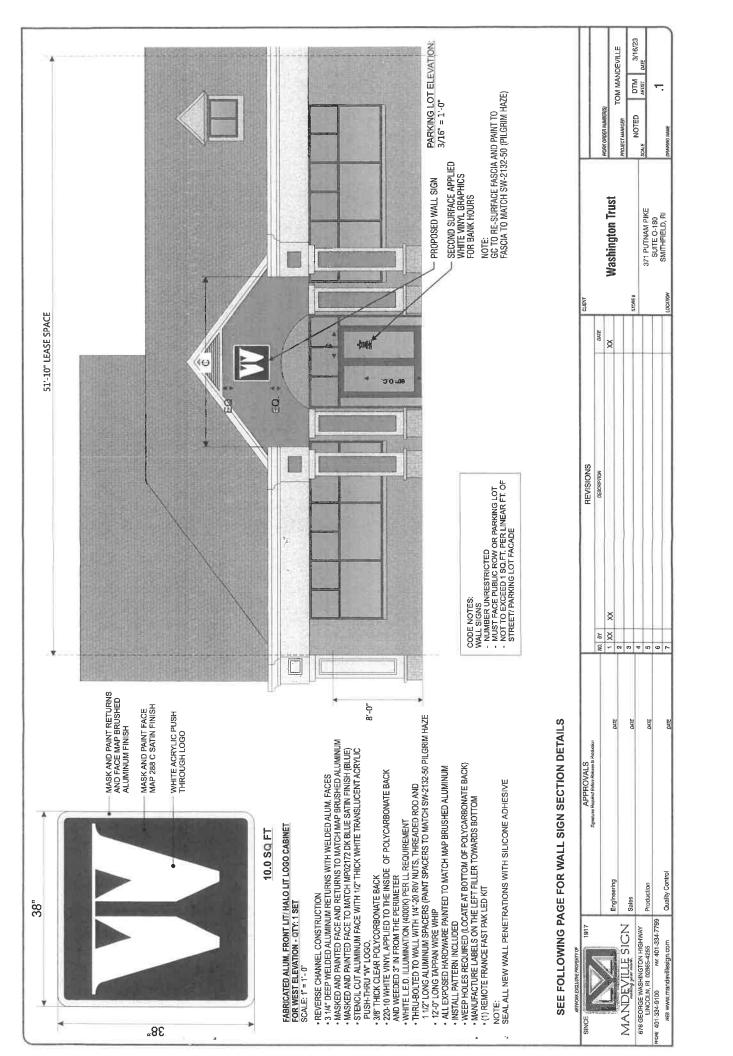
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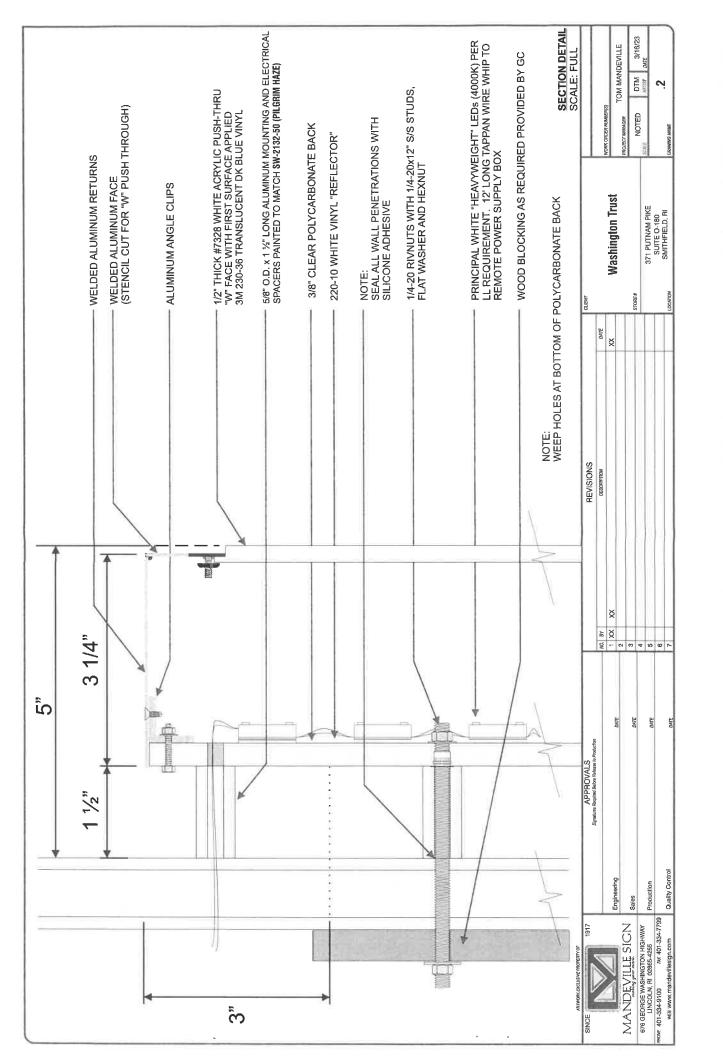
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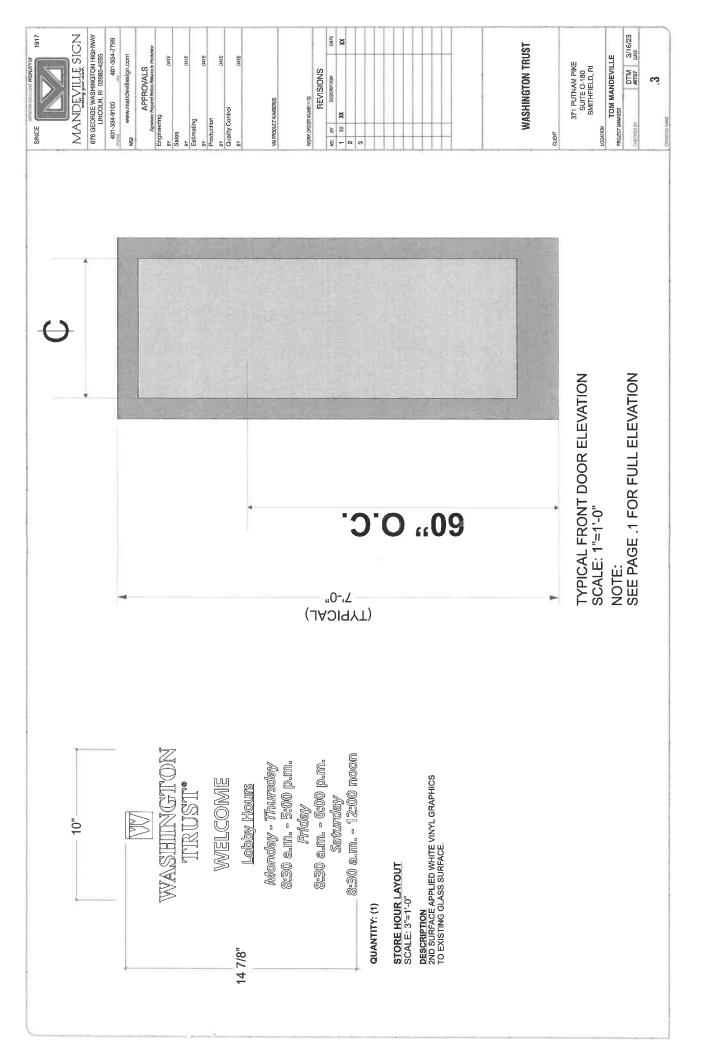
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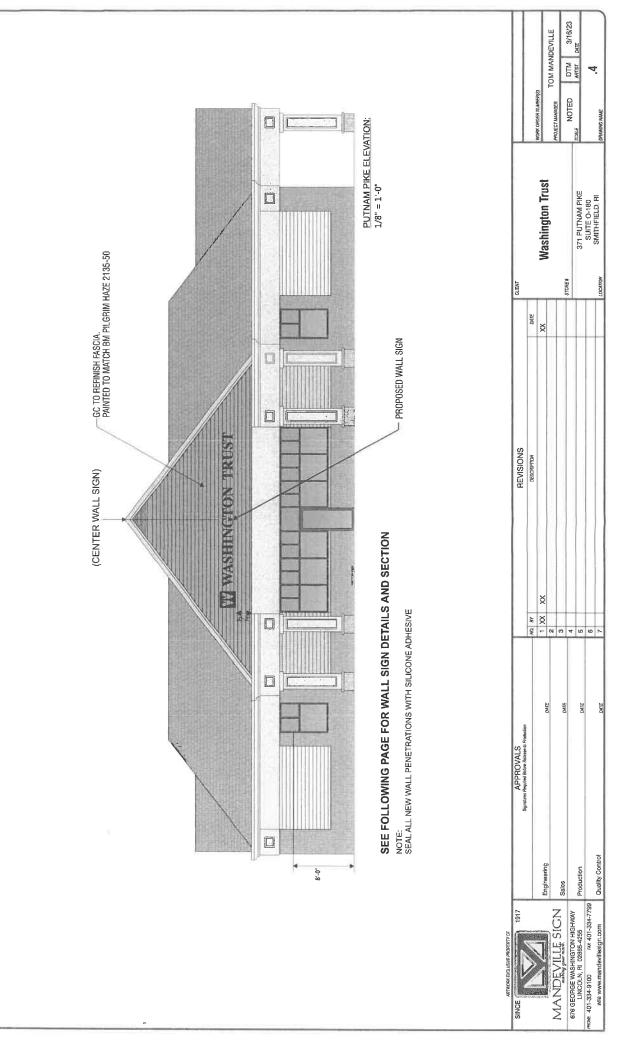
CONTROL POINTS, PROPOSED BOWGS, and ANY EASTING PROPERTY LINE HONIPERITATION DISTURBIED DARING CONSTRUCTION INST BE SET OR RESET BY A PROFESSIONAL LICENSED SANRYOR.

STRESS SOIL, TREES, ROOK, BOLLOGES, AND OTHER REFUSE, HUST BE DISCURDED OFF STE IN DROAMIC WITH ALL PEDEDAL, STATE AND LOCAL RECLEATIONS, STUPPS, HUST BE GROUND ON











McGeorge
Architecture Interiors
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THE WASHINGTON TRUST COMPANY

SMITHFIELD, RHODE ISLAND 02917 371 PUTNAM PIKE

WASHINGTON TRUST	TROJECT TEAM.	DBO IECT TEALA

CONSTRUCTION MANAGER:
A. AUTIELLO CONSTRUCTION 23 BROAD STREET WESTERLY, RI 02891

COVIL RAGINEER:
DIPRETE ENGINEERING
90 BROADWAY
90 BROADWAY
NEWPOST, RIOZG40
1: 401-943-4005
6: 401-444-4005

MEP BOUNER:

METALNIK, ZAINO, & ASSOCIATES, INC., PO 30.1.57

IST PROVIDENCE NEW LONDON TRIE.

ISTANSON SOURCE CLOSES

T-603.35.2537

F-603.35.3537

F-603.35.3537 ARCHIECT
ARCHIECTURE INTERIORS, LLC
10 FFFH ACENUE
EAST OBERWICH, RUZZIIB
EAST OBERWICH, RUZZIIB
EAST OBERWICH, RUZZIIB

PROJECT SCOPE:

HE SCOPE IS GENERALLY DEFINED AS AN INTERIOR RENOVATION OF A SMOCIE THANH SPACE FOR NEW BRANCH BANK FOR THE WASHINGTON TRUST COMPANY, COACED AT 37 TUTNAM PIEK IN SMITHERD, RHODE ISLAND, THE FACILITY IS APPROXIMATELY 4,216 S.F.

APPLICABLE CODES: REFER TO SHEET A0,2

DRAWING LIST:

A0.0 COVER SHEET AND NOTES

C1.0 DEMOLITION PLAN C1.1 SITE PLAN C1.2 GRADING PLAN

ARCHITECTURAL CONTO :

AD1 GRAPHIC SYMBOLS, ABBREVIATIONS, AND NOTES
D1.1 BRACHITON TEAM SLAD BRACHITON AND NOTES
D1.2 DRACHITON CEIMIG FLAN AND NOTES
A1.1 FROOR FLAN AND NOTES
A1.2 FRISH FLAN, SCHEDULE AND NOTES
A1.3 FRISH FLAN, SCHEDULE AND NOTES
A1.4 FRISH FLAN, SCHEDULE AND NOTES
A1.5 FRISH FLAN SCHEDULE AND NOTES
A1.6 FRISH FLAN SCHEDULE AND NOTES
A1.7 FRISH FLAN SCHEDULE AND NOTES
A1.8 FRISH FLAN SCHEDULE AND DEFAUS FIRE PROTECTION:

FP0.1 FIRE PROTECTION LEGEND AND SYMBOLS
FPD1.0 FIRE PROTECTION DEMOLITION PLAN
FP1.0 FIRE PROTECTION NEW WORK
FP2.0 FIRE PROTECTION OFFICIALS
FP3.0 FIRE PROTECTION SPECIFICATIONS

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MECHANICAL:

MD1 MECHANICA LEGEND & SYMBOLS
MD10 MECHANICA DEMOLITION PLAN
MD11 MECHANICA DEMOLITION ROOF RAN
M10 MECHANICAL NEW YORK
M10 MECHANICAL NEW YORK
M11 MECHANICAL ROOF PLAN
M20 MECHANICAL ROHBOLIS
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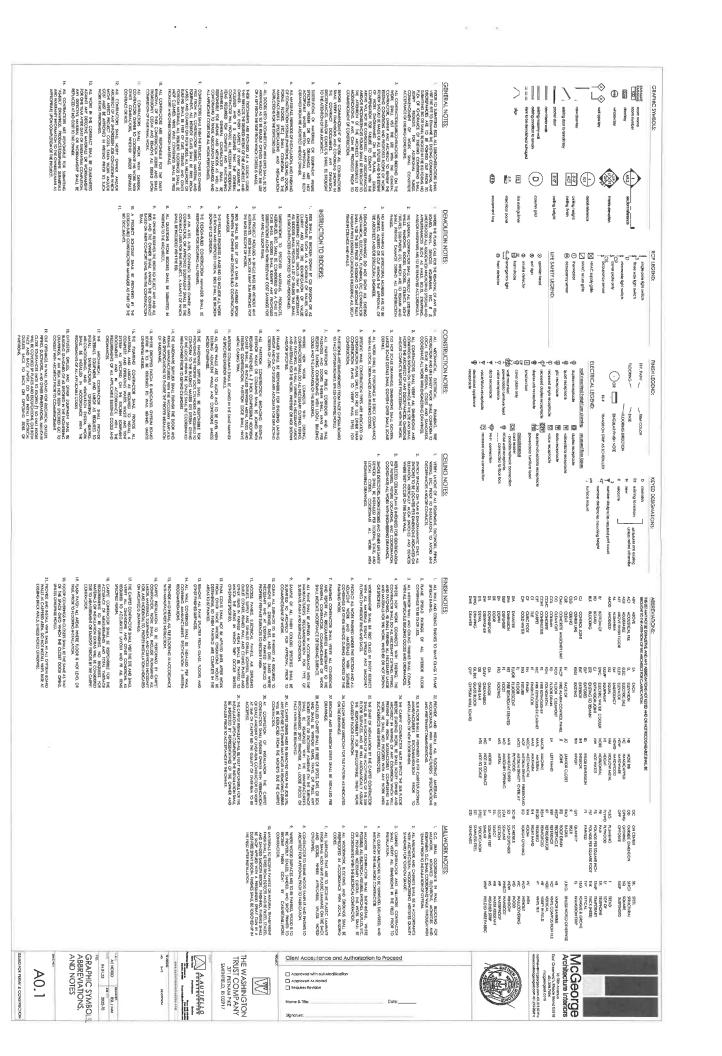
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TRUST COMPANY
371 PUINAM PIKE
SMITHFIELD, RI 02917

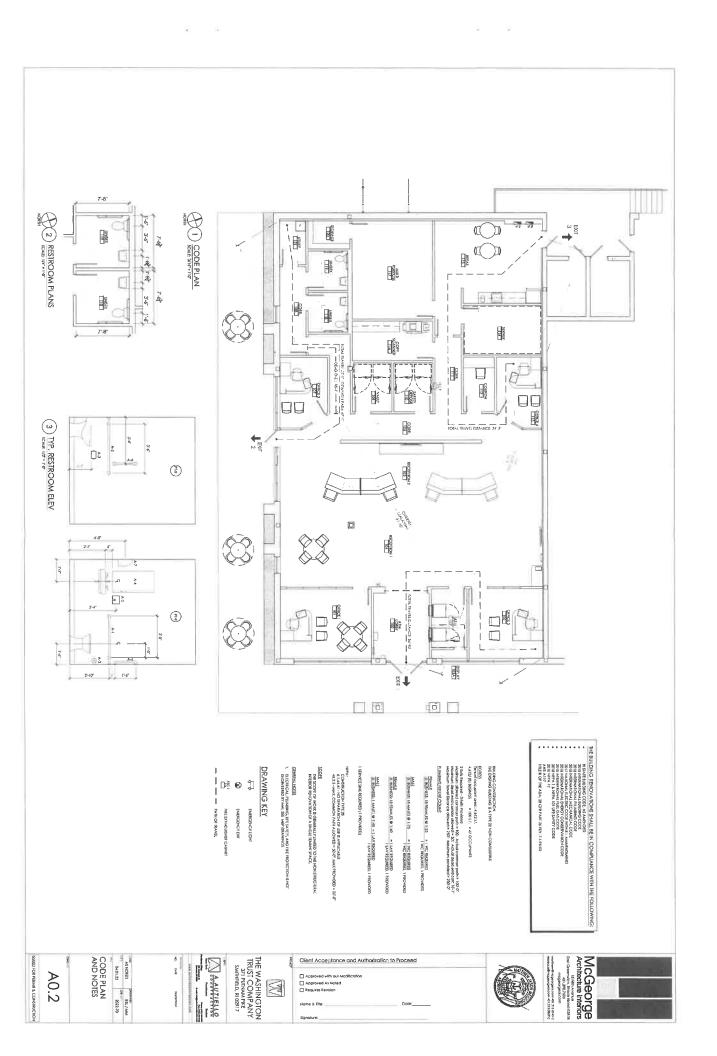
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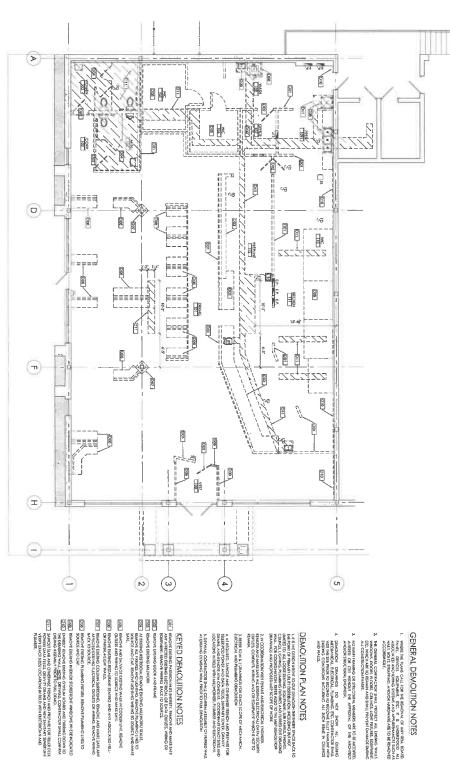
COVER SHEET AND NOTES

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GENERAL DEMOLITION NOTES

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ASSOCIATE ANCHORNO STRIEM AND APPUREWANCES SICH AS
ANTE SOLTS, BRAPPING, AND/CRI HARDWARE ARE TO BE REMOVED
ACCURRENCY.

NO MAIN FRAMANO OR STRUCTURAL NEMBERS ARE TO BE MODIFIED. ALTERED OR CUIT WITHOUT THE APPROVAL OF THE ARCHITECT AND/OR STRUCTURAL ENGANEER.

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KEYED DEMOLITION NOTES

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| BROWN ENGINE
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DEMOLITION PLAN

A.AUTIELLO

DEMOLITON PLAN/ SLAB DEMOLITION AND NOTES

DESCRIPTION

SSUED FOR PERMIT & CONSTRUCTION

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THE WASHINGTON TRUST COMPANY 371 PUTNAM PIKE SMITHFIELD, RI 02917

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Approved As Noted
Requires Revision

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DEMOLITION CEILING PLAN

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Architecture Interiors
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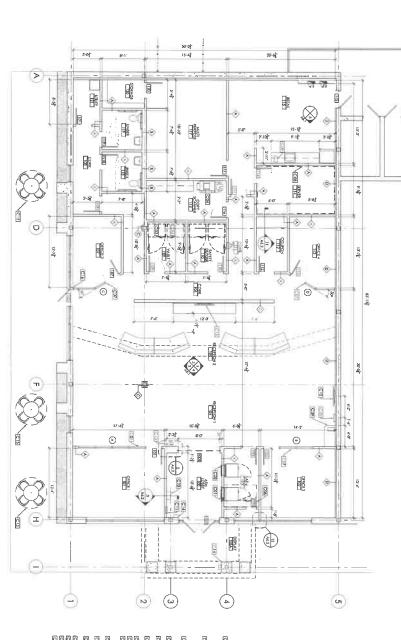
DEMOLITION CEILING PLAN AND NOTES

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THE WASHINGTON
TRUST COMPANY
371 PUNAM PIKE
SMITHFIELD, RI 02917

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Approved As Noted
Requires Revision Nome & Title:

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GENERAL PLAN NOTES

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- COORDINATE WALK IHROUGH WITH BANK REPRESENTATIVE PRIOR TO INSTALLATION OF GYPSUM BOARD.
- COORDINATE ALL WORK WITH CIVIL, STRUCTURAL, MEP, AND/OR OTHER DRAWINGS, NOTEY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- SEE ELECTRICAL AND PLUMBING DRAWINGS FOR POWER AND DRAWINGS AT HOSPITALITY
- NOTE: G.C. SHALL COORDINATE ALL NEW FLASHING, PIPE AND YEN BOOTS, AND ANY OTHER INCIDENTAL ROOTING WORK, WITH THE MEP DRAWINGS AND ROOTING SUBCOMBACTOR.
- DRYWALL COMPACTOR SHALL CONFIRM FRAIL FURRED WALL DETAIL (SEE WALL TYPE TO) AT DEMISING WALL WITH G.C. AND ARCHIECT

KEYED FLOOR PLAN NOTES

[C02] THEOUGH-WALL AFTER-HOURS DEPOSITORY, FURNISHED BY OWNERS YERODR, G.C., TO COORDINATE/ HISTAIL ROUGH OPERANG, FOWER, WERNER, CONDUIT AND CLEARANCE REQUIREMENTS WITH ALL OTHER IRADES, [CD] HISCUGHWALL (2018)* AIM ANCHHIL WIRI SHICUE ON MÉSTIBILLE SDE, HIBMSHED EN CYMNESS VERZOR, C.C. TO COORDINATE MISTA ROUGH OPERHOL, POWER, MIRHAL, CONDIT AND CLEMANCE REQUIREMENTS WITH ALL OTHER TRADES.

- [CS] Vull, Veneselb By Consist Venese, G.C. 10 GOODENATE OF MACHINE REPORTED AND CHARACTER REVIEWERS WITH ALL OPER TADES.

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- BULD NEW WALL SEGMENT FROM BISSTING SILL TO HEADER AND EXTEND TO MIN 6" ABOVE CELLING, WRAP WITH ALUMINUM AND P TO MATCH.

GENERAL WALL TYPE NOTES

UNLESS NOTED OTHERWISE, FRAMING SHALL EXTEND TO BOTTOM OF DECK AND GYPSUM BOARD SHALL TERMINATE AT ELEVATION 12-0" A.F.F.

WALL TYPES

FLOOR PLAN AND NOTES

AS NOTED RS. / MAN 04.01 23 2022-70

PURKED WALL: I \$\forall \text{stel stud @ 14"OC, WITH \$\forall \text{Gypsum roard dyied some provide sound attenuation batts in Cavity, extend bythe assembly 10 12-0". Conferm final defail with G.C. and architect

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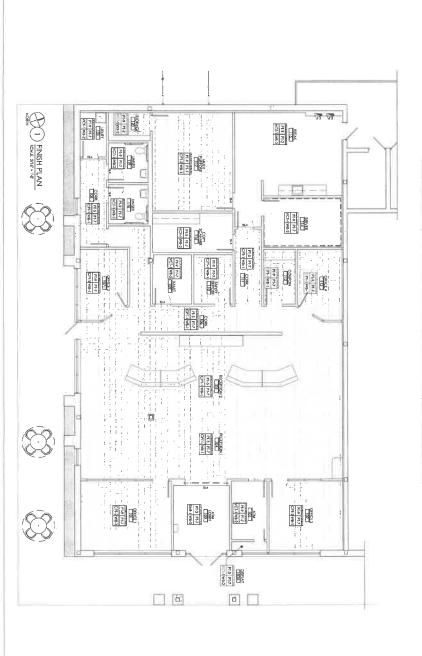
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Client Acceptance and Authorization to Proceed



FINISH	FINISH SCHEDULE					FINISH	FINISH SCHEDULE CONTINUED	ONTINUED			
Ð	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR/FINISH	REMARKS	Æ	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR/FINISH	REMARKS
ACT-1	ACOUSING ALCOUNG THE	ARMSIRONG	24 × 24 × 5/8	DUNE 1774							
-						SD1-I	STATIC DECEPTIVE TILE	UNITED STATIC CONTROL	ELECTRA 12x12x1 = 11	ET-60S	BY UNITED STATIC CONTROL PRODUCTS
CPT-1	CARPET TILE	COLLINS AND AIRMAN	MONUMENTO D3588	THE INDEED STATE OF THE PARTY O	HORRONTAL ASHLAR						
-	CARPET FILE	COLLINS AND AIRMAN	INTERSECTION 01880	AZIEC 37001	MONOUTHIC .	Ä	SOUD SURFACE	CAMBRIA	3120 QUARRY COLLECTION	BRADFORD	USED AT COUNTERS, REFER TO DETAILS
-						51-7	SFAIN		FACIORY APPUED STAIN	CLEAR	USED AT WOOD DOORS, SEE SCHEDULE
EMI-I	ENTRANCE MATTILE	COLLINS AND AIKMAN	ABRASIVE ACTION 02578	19101 MDNIGHT BLUE		ř	TRANSTION STRIP				ENTRANCE MAI TILE TO CPT-1
-						15-2	TRANSTION STRIP				CARPEI TO VCI
HP-1	EXTERIOR SOFFIT PANEL	JAMES HARDIE	HARDESOFFIT FORCH FRAME		BEADED	VCT-1	ANAL COMPOSITION LIFE	MANNINGION	BRUSHWORK	717 VENERAN SILK	
2	PLASTIC LAMBIATE	WILSONART		DEEPSTAR FLINT - 1811-35	COUNTERS	H8-1	ABAU THAN TANK	JOHNSONIE		SB WINDSOR BLUE	
PL-2	PLASTIC LAMMATE	MITSONASI		ASIAN MOHT 7949-18	COUNIGES AT TELLER ONLY	W8-2	VINTL WALL BASE	JOHNSOLNITE		40 BLACK	
g.	PLASTIC (AMPIATE	WILSONARI		FUSION MAPLE 7909-60	CABINETS	GENER	GENERAL FINISH NOTES				
78	PORCELAN THE BASE	CREATIVE MATERIALS	FMC ROADS PS49199	SAND HEARTH	4", NATURAL RINGH	2 Alich 3 Alich 4 Alich	gigr wall and ageing linishe etor finishes and colors not shaes shall be prepared and strates thall be patched, re	 All inlighty woll and cpilling littables shall have a florme spread of 476 and a rmake of 2. All inleads filebase and colors not inmins specified shall be selected by the architect 2. All finishes shall be proposed and included part the manufacturer's willing specified 3. All finishes shall be protoless, espoless, and otherwise treated to ecosive new finishes. All substitutes the specified of the color of all manufacturers. 	 All initiary del grad pietra, professor a forma product of to a compact previousment of 0-0.00 oil initiations that this shad by construct. All injudy fields and construction and construction of the product of the professor of the professor of the professor of the product of the professor of the profes	vi al 0-450, all interior Baar linish rearrangedations. e rair written specifications.	es shoil be class for it.
PT-I	PAINT	BENJAMIN MOORE	LATEX PAINT, FLAT FINSH	HOW WHITE DOVE	CELINGS	S. Any s	abcontractor who begins in	stollation of linishes accepts	5. Any subcontractor who begins installation of linking accepts the condition of the substrole as acceptable and that be responsible for some	occeptable and shall be respond	posible for some.
PT-2	PAINT	BENJAWIN MOORE	LATEX PAINT, S	HC-38 DECATUR BUFF	DOOR FRANKS/ 1894 - BREAK ROOM ONLY	e. COM	e. College lector and doctors of the process of the college of the	A Or Clint HOCK Auth standary			
PIG	PANI	BENJAMIN MODRE	LATEX PAINT, FLAT FINISH	HORDON BURNINGS AND SHOOT	E CHINGS						
P-19	PANI	BRUAMIN MOORE	LATEX PAINT, EGGSHELL RIVISH	нерирования или вываля	HCORDICADE BARE BLIE BASE USED AT WALLS AND SOFFE RETURNS						
PI-S	PAINT	BENJAMIN MCORE	LATEX PAINT, EGGSHELL FINISH	POST RECEIPT STATE STATE SHAPE	USED AT WALLS						
PIG	PANI	BENJAMIN MOORE	LATEX PAINT, FLAT FINISH	HODEDICASIA MALENDADICASI	USED AT SOFFII BOTTOM FACE						
P1-7	PANI	BBUJAWN MOORE	LATEX PAINT, SEMI-GLOSS	1665 MOZART BLUE	ALL DOOR FRAMES/ IRIM EXCEPT BREAK RM						
9-19	PANT	BENJAMIN MOORE	LATEX PAINT, EGGSHELL FINGH	BIS STREET WITH AND STREET	USED AT WALLS						
\$rld	PANI	BBNJAWW MCORE	LATEX PAINT, EGGSHELL FINISH HC-80 BLEEKER BEIG	HC-80 BLEEKER BEIGE	USED AT WALLS						
PT-10	PANI	BENJAMIN MCORE	LATEX PANG, EVALUATION	HC-80 BLEEKER BEKGE	USED AT BREAK ROOM DOORS ONLY						
PF-II	EXTERIOR PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	SW6990 CAVIAR	USED AT ALUMINUM STOREFRONT						
_	EXTERIOR PAIN!	SHERWIN WILLIAMS	LATEX PAINT, EGGSHELL	SWZ066 GRAY MATTERS	WOOD CLAPBOARD/ GABLE BOARD PAINT						
PT-13	EXTEROS PAINT	SHERWIN WILLIAMS	LATEX PANT, EGGSHELL	SWODG CITYSCAPE	WOOD TRIM, COLUMNS, GUTTERS/ DOWNSP.						



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REFLECTED CEILING PLAN

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2. SEE ELD FOR LOCATIONS OF ALL HEAT AND SMOKE DETECTORS STROBES, HORN STROBES AND OTHER FIRE ALARM DEVICES.

GENERAL LIGHTING NOTES

1. CARRY ALL INTERIOR SWITCHES AS DIMANABLE.

2. PROVIDE PHOTOCELL AND TIMER FOR ALL ENTERIOR LIGHTING. SEE ESOFOR UGHENG FIXTURE SCHEDULE SEE A4.1 FOR FINISH SCHEDULE

GENERAL CEILING FINISHES

KEYED CEILING PLAN NOTES

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REFLECTED CEILING PLAN AND NOTES

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THE WASHINGTON TRUST COMPANY

SMITHFIELD, RHODE ISLAND 02917 371 PUTNAM PIKE

PROJECT TEAM:

WASHINGTON TRUST 23 BROAD STREET WESTERLY, RI 02891

CONSTRUCTION MANAGER:
A. AUTIELLO CONSTRUCTION
125 CARLEAD STREET
CRANSTON, RI 02920
T. 401-34-24933
F. 401-34-2493 CIVIL ENGINEERING
DIPRETE ENGINEERING
90 BROADWAY
90 BROADWAY
12-01-742-1000
12-01-742-1000
13-01-742-1000
13-01-742-1000

ARCHITECT:
MCGEORGE ARCHITECTURE INTERIORS, LLC 18 FIFTH AVENUE EAST GREENWICH, RI 02818 T: 401,398,7606

MEP BOUNEE:
PRANK ZAINO & ASSOCIATES, INC.
PO BOX 57
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PROJECT SCOPE:

THE SCOPE IS GENERALLY DEFINED AS AN INTERIOR RENOVATION OF A SINGLE TEAMY SPACE FOR A NEW BRANCH BANK FOR THE WASHINGTON TRUST COMPANY, LOCATED A '37 THOMAN PICK IN SMITHELD, RHODE ISLAND, THE FACILITY IS APPROXIMATELY 4,216 S.F.

APPLICABLE CODES: REFER TO SHEET AU.2

DRAWING LIST:

AGO COVER SHEET AND NOTES

C1.0 DEMOLITION PLAN C1.1 SITE PLAN C1.2 GRADING PLAN

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MAD 1.1 MECHANICAL DENOCITION PROOF PLAN
MAJ 0.1 MECHANICAL NEW YORK
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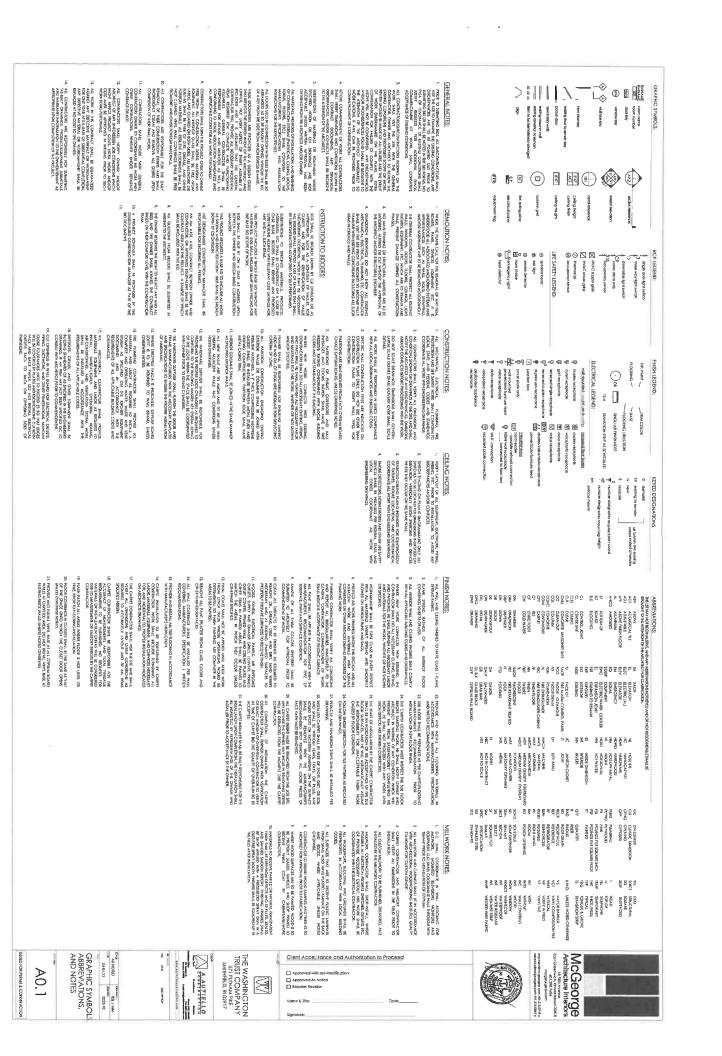
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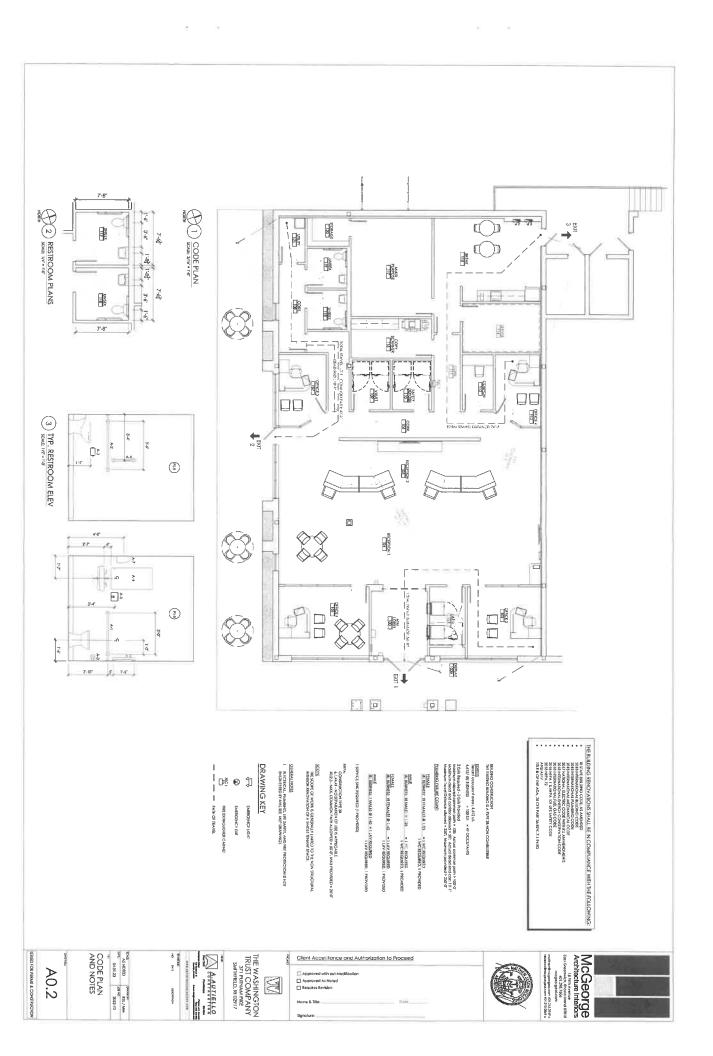
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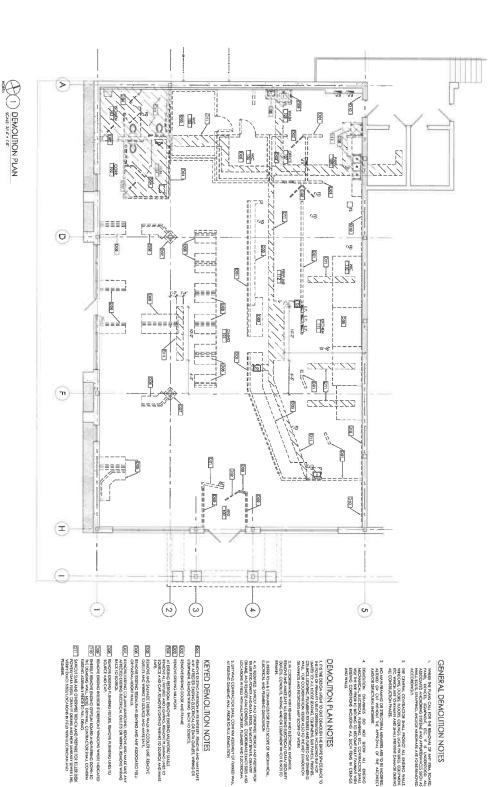
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GENERAL DEMOLITION NOTES

- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED. ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHIECT AND/OR STRUCTURAL ENGINEER.
- DEMOLITICM DRAWNESS DO NOT SHOW ALL BRISTING ARCCHARGAL RECORDICAL PLANSAGO, BEL, CONTRACÇOR SHALL YOU THE SIFE PARKE DE BOONSH'S OF BECCHAE PLAT PANAMAN WITH BESTING CONDITIONS INCLITIONS ALL SLCH FIDMS IN CRUINGS AND WALLS.

KEYED DEMOLITION NOTES

EDOI REMOVE EXISTING PARTISON AN ITS ENTIRETY, REMOVE AND MAKE SAFE ANY AFFECTED EXISTING ELECTRICAL OR DATA QUILETS, WIRING OR EQUIPMENT, REMOVE WIRING BACK TO SOURCE.

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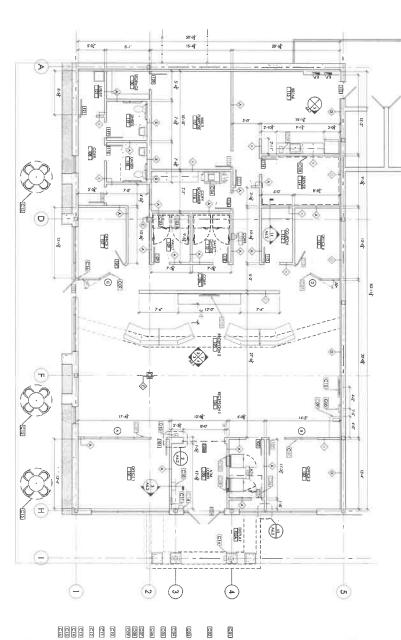
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GENERAL PLAN NOTES

- COORDNAIE WALK THROUGH WITH BANG REPRESENTATIVE PRIOR TO INSTALLATION OF GYPSLIM BOARD. THE G.C., SHALL COORDINATE ALL TEMS IDENTIFIED TO BE SUPPLIED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
- COORDWAIE ALL WORK WITH CIVE, STRUCTURAL, MEP, AND/ OR OTHER DRAWINGS. NOTBY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- SEE ELECTRICAL AND PLUMBING DRAWINGS FOR POWER AND DRAINAGE AT HOSPITALITY ALL INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF FINISH U.M.O.
- NOTE: G.C. SHALL COORDWATE ALL NEW FLASHING, FIPE AND VENT BCOTS. AND ANY OTHER INCIDENTAL ROOFING WORK, WITH THE MED DRAWINGS AND ROOFING SUBCONTRACTOR.

KEYED FLOOR PLAN NOTES DRYWALL CONTRACTOR SHALL CONTRACT FINAL FURRED WALL DETAIL (SEE WALL TYPE 'D') AT DEMISTING WALL WITH G.C. AND ARCHITECT

[20] THROUGH-MALL LOBBY ALM MACHINE WITH SHROKD ON VESTIBLEE SIDE. FURNISHED ST OWNERS YEADON, C.C. TO COOSDIMATE INSTALL BOUGH ODERMAC FOWER, WRITH, CONCIUE AND CLEMANCE REQUIREMENTS WITH A LL OTHER TRADES.

COZ 1460UCH-WALL AFTER-HOURS DEPOSITORY, FURNISHED BY OWNERS VENDON, G.C. TO COORDINATE JASKIL BOUGH OFFERING, FOWER, WIRING, CONDUIT AND CLEARANCE REQUIREMENTS WITH ALL OTHER TRADES.

CGS) VAILT, TREMINIED AY CONNEX Y VILLOZI, G.C., DO CODENATE, INSTALL GOARD AND CREAM AND COMMENT AND

COS WWALL REPRICERATED BOTTLE FELER, BASIS OF DESIGN: ELKAY ETHOS SERES - MOORL LEWSMOK WITH REMOTE CHILLER

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GENERAL WALL TYPE NOTES

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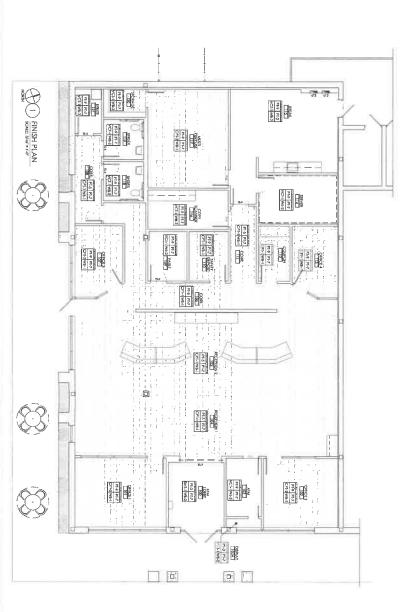
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KEY	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR/FINISH	REMARKS	-
ACT-I	ACOUSTICAL CELLING TILE	ARMSTRONG	24 X 24 X 5/8	DUNE 1774		+
						t-los
CP7-I	CARPET TILE	COLLINS AND ARMAN	WOHUMENTO 03566	BLUE UNDERGLAZE 7900S	HORIZONIAL ASHLAR	Н
CPI-2	CARPETALE	COLLING AND AIRMAN	INTERSECTION 01880	AZIEC 37001	MONOTIFIC	55
						SI-I
F-IIM3	ENTRANCE MATTLE	COLLINS AND AIKMAN	ABRASIVE ACTION 02578	19101 MIDNIGHT BLUE		-
문	EXTERIOR SOFFIT PANEL	JAMES HARDE	HARDESOFFIT FORCH FROM		BEADED	YC;
PL-1	PLASTIC LAMINATE	WILSONART		DEEPSTAR FLWT - 1811-35	COUNTERS	WB-I
PL-Z	PLASTIC LAMINATE	WILSONART		ASIAM NIGHT 7949-18	COUNTERS AT TELLER ONLY	WB-2
PL-3	PLASTIC LAMINATE	MISONART		FUSION MAPLE 7909-40	CABINETS	1
2	PORCELAIN IILE BASE	CREATIVE MATERIALS	FAIG ROADS PS69198	SAND HEARTH	4T, NATURAL FINISH	-
	PAINT	SENTAMIN WDORE	LATEX PAINT, FLAT FINISH	HOW WHITE DOVE	CEUNGS	-
PI-2	PAINT	BENJAMIN MDORE	LATEX PAINT, SEMI-GLOSS	HC-38 DECATUR BUFF	DOOR FRAMES/ TRIM - BREAK ROOM DINLY	-
PIG	PAIN	SENJAMIN MOORE	LATEX PAINT, FLAT FINSH	HC-38 DECATUR BUFF, BLACK BAILE	E CBLINGS	т
PI-4	PAINT	SENJAMIN MOORE	LATEX PAINT, EQUIPMENT THEFT	THE BUILDINGSHOP SHIP	USED AT WALLS AND SOFFII REJURNS	
PI-S	PAINT	BROOM NIMALNES	DATEX PAINT, EGGSHELL FINISH	HC-80 BLEBKER BEIGE, BLUE BASE	USED AT WALLS	
P.Id	PAIN	BOOMNIMMINGS	LATEX PAINT, FLAT FINSH	HC-38 DECARDE BUFF, BLUE BASE	USED AT SOMET SOFTOM FACE	
PTG	PAINT	BENJAMIN MOORE	LATEX PAINT, SEMI-GLOSS	1665 MOZARI BLUE	ALL DOOR FRAMES/ TRIM EXCEPT BREAK RM	-
9.14	PANT	BENJAMIN MOORE	LATEX PAINT, E.C. INT. INC.	812 BLUESERRY HILL	USED AT WALLS	
6.14	PAINT	3ENJAMIN MOORE	LATEX PAINT, E	HC-80 BLEEKER BEICE	USED AT WALLS	
P\$-10	PAINT	SDUJWIN MDORE	LATEX PAINT, SEMI-GLOSS	HC-BOBLESKER BEICE	USED AT BREAK ROOM DOORS ONLY	-
11-15	EXTERSOR PARVI	SHERWIN WILLIAMS	SEMI-GLOSS	SW6990 CAVIAR	USED AT ALUMINUM STOREFRONT	
PI-12	EXIERIOR PARIT	SHERWIN WILLIAMS	LATEX PAINT, EGGSHELL	SW7066 GRAY MATTERS	WOOD CLAPSDARD/ GABLE SOARD PAINT	-
57 13	EXTERIOR PAINT	SHERWIN WILLIAMS	LATEX PAINT, EGGSHELL	SW7067 CITYSCAPE	WOOD TRIM, COLUMNS, GUTTERS/ DOWNSP.	

COLOR/FINISH DUNE 1774 BUIL INCUSPOLATE 77005 AGREC 37001	REMARKS HORIONIA ASAAR MONUTHE	SP1 SP1 KEY	FINISH SCHEDULE CONTINUED REY DESCRIPTION MANUFACTU SSP1 SCALORESPINETE JUNITOSIANCOO SS-1 SCALORESPINETE CAMBRA SS-1 SCALORESPINETE CAMBRA SS-1 SCALORESPINETE SS-1 SCALOR	MANUFACTURER UNITED STATIC COMIROL CAMBRIA	PRODUCT BECTRA 12/12X1/8*THE 3120 QUARTY COLLECTION INCIDEY APPLED SIANA	COLOR/FINISH B1-805 BRADFORD CLEAR	REMARKS BY UNIED STATE CONTROL PRODUCTS USED AT COUNTRY, REFER TO DEFAKS USED AT WOOD DOORS SEE SCHEOUE
		51-1	STAIN		FACTORY APPLIED STAIN	CLEAR	USED AT WOOD DOORS, SEE
19101 MIDNIGHT BLUE		런	TRANSITION STRIP				ENTRANCE MAT IN ETO CPT-1
		15-2	TRANSITION STRIP				CARPEI IO VCI
	BEADED	VC!-I	NAME COMPOSITION THE	MANNINGTON	BRUSHWORK	717 VENERAM SUK	
DEEPSTAR FLBM - 1811-35	COUNTERS	WB-I	ANU MATT SYSE	JOHNSONITE		30 WINDSOR BLUE	
ASMA HIGHT 7949-18	COUNTERS AT TELLER ONLY	WB-2	VINT WALL BASE	JOHNSONIE		CONTRACT	
FUSION WAPLE 7909-60	CABINEIS	GENE	GENERAL FINISH NOTES				
SAND HEARTH	47. NATURAL FINISH	2 AH	All initiator was and ceiling linkins shall have a flame spasod of <26 and a snate of All initiator finithes and colors not havels specified shall be selected by the architect All initiates shall be prepared and installed per the monitoclated's while in specification All initiates shall be prepared and installed per the monitoclated to senote one to a till the total shall be proported and another and otherwise learned to senote one to a till the total shall be a proported and senote and another total colors.	s shall have a flame speeds herein specified shall be se dissiplied per the monulocal analysis of the state that	all is redor wall and calling lishes that how a forms provided 25 and a seals development of 0.450, all hields foor All is redor frames on cours not hearth specified and the sack-lead by the constitued. All iships that he proposed and rejolated poll his projectorized, while a people object on the constructions. All iships that he proposed and rejolated per the projectorized, while a people objects on the constructions of	al kinder was and deling flether that have a forme product AS and a node adventuration of 0-4.50, all historia for flates shall be taken in at la kinder frame, and caseing flether and heavy health of white health a selection of the common control heavy health of white health and the selection of the common control heavy health of white health and the selection of the common control health and the selection of t	nes schaft ber class I or II.
HOW WHITE DOVE	CELINGS	S. Any	subconfractor who begins in	statation of inighes accept	s live condition of the substrate	Any subcantactor who begins installation of finishes accepts the condition of the substrate as acceptable and shall be responsible for some	onible for some,
HC-38 DECAMP BUFF	DOOR FRAMES/ IRIN - BREAK ROOM DIKLY	6. Con	Confirm requirement and quantity of office stock with tenors.	ly of office stock with femont			

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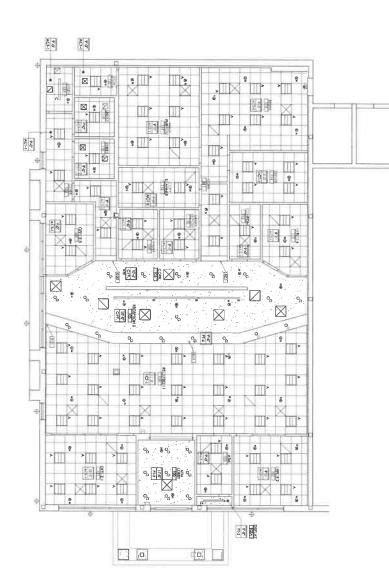
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SEE ES.D FOR LIGHTING FIXTURE SCHEDULE

GENERAL LIGHTING NOTES

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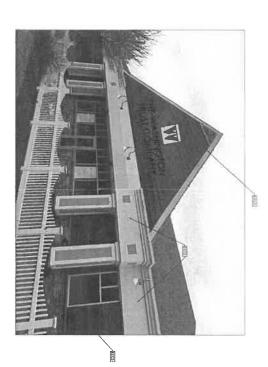
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GENERAL CEILING FINISHES

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GENERAL EXTERIOR ELEVATION NOTES

1. VEHIP AND UPDATE LUCHING COMPORTOR EXTERIOR LIGHTS TO ACCOMMODATE HOURS OF OPERATION.

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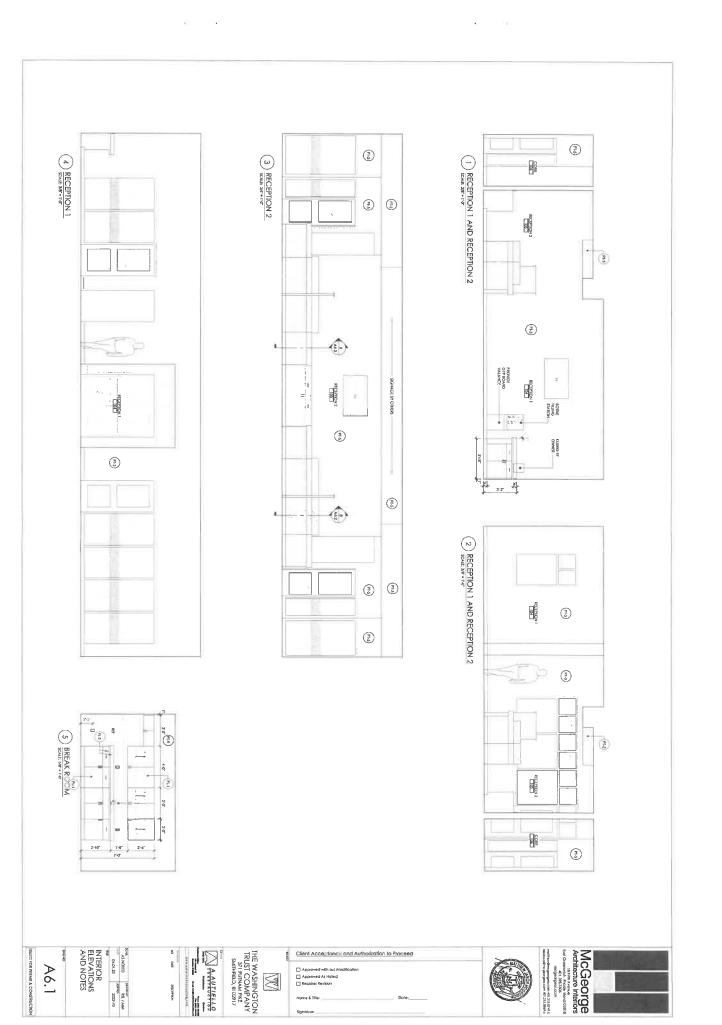
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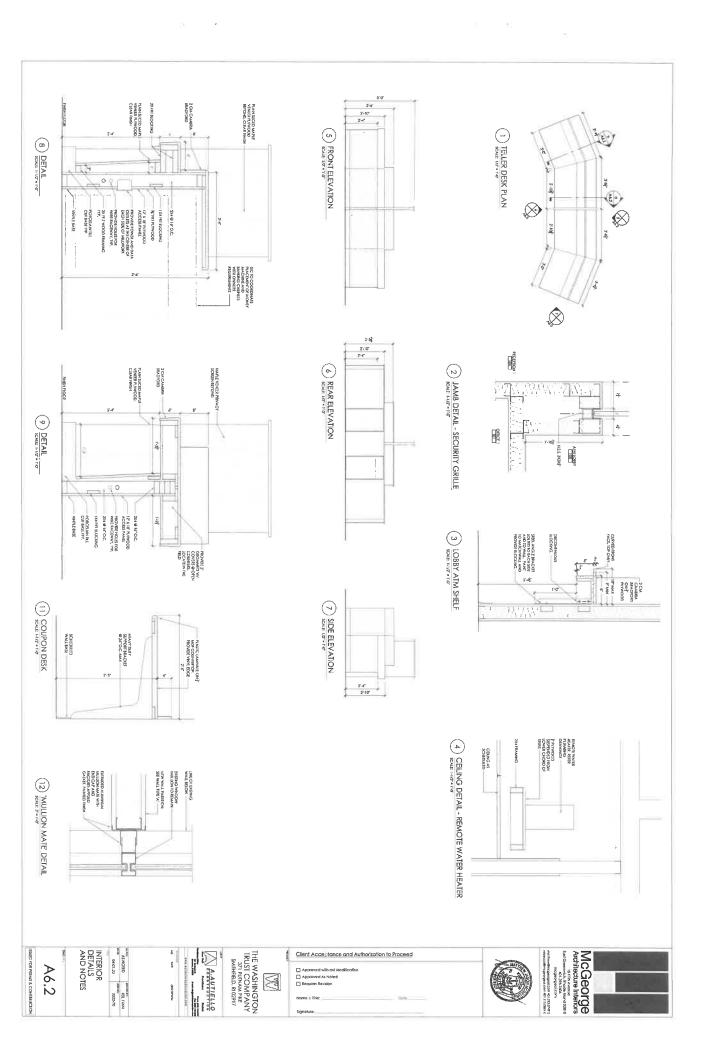
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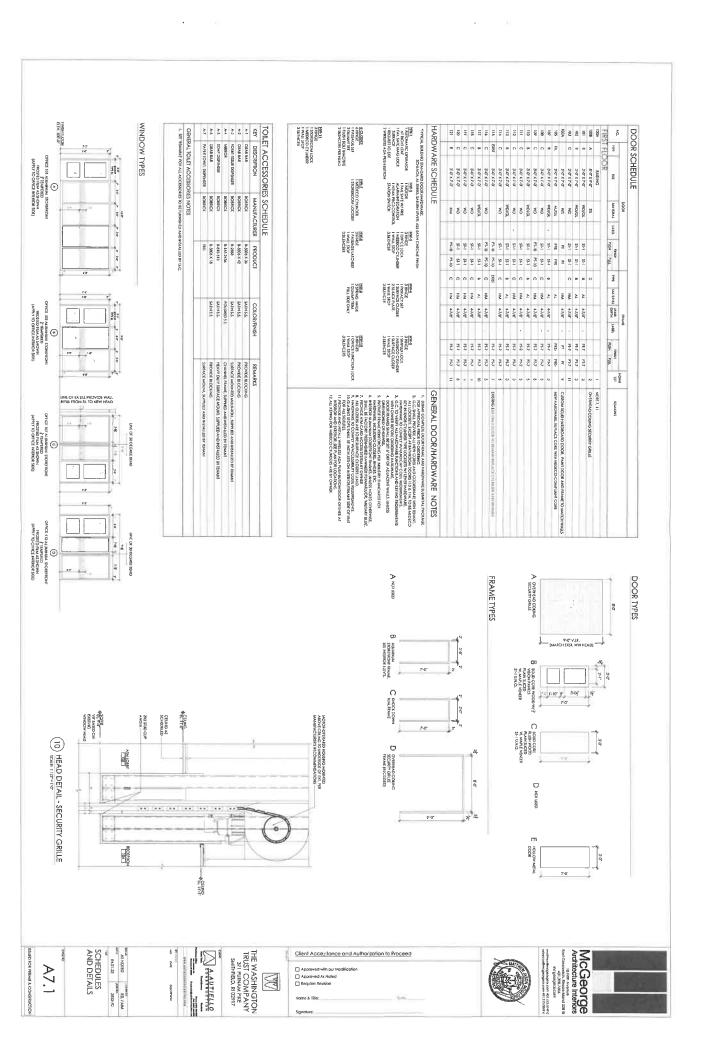
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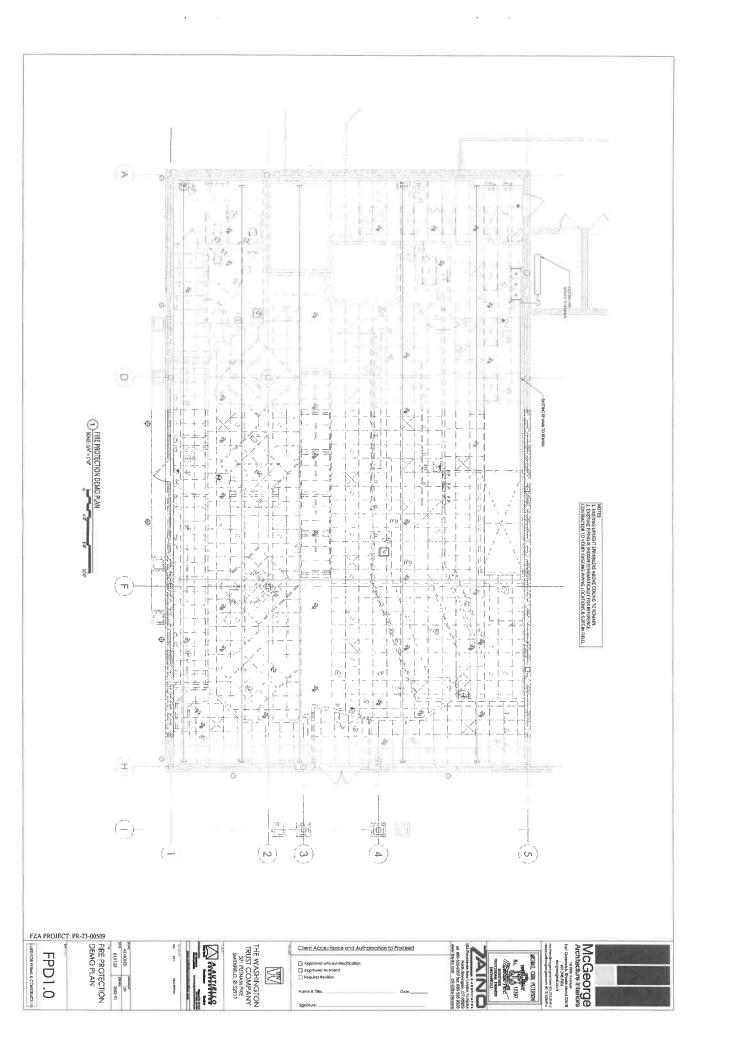
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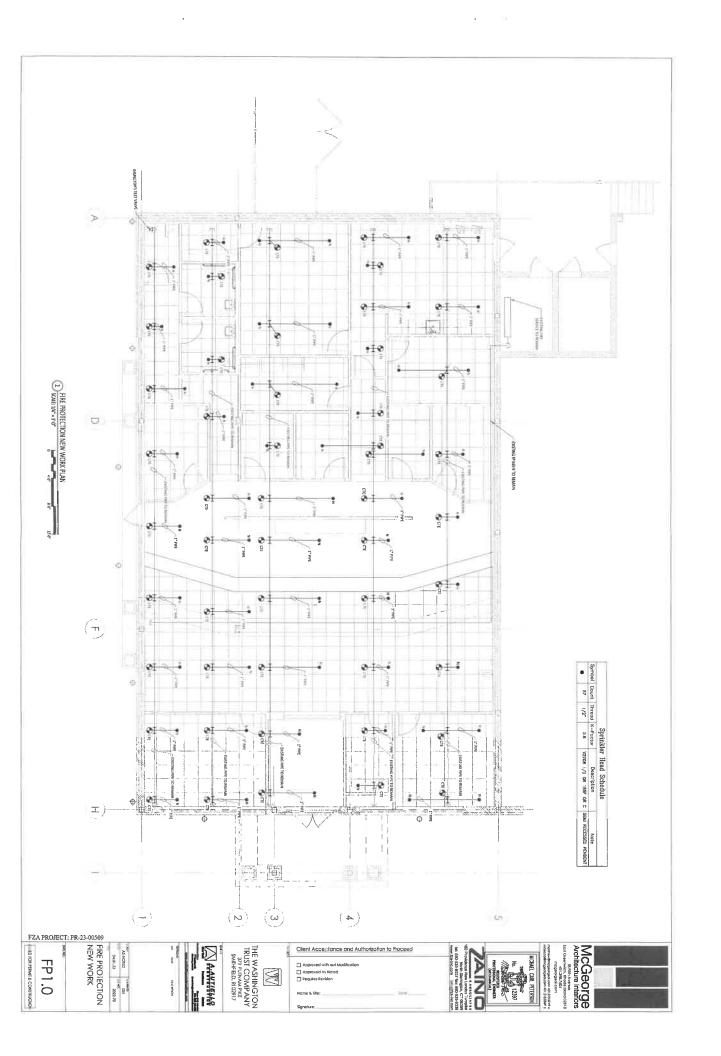
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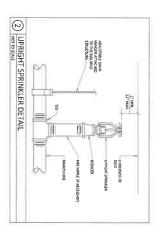


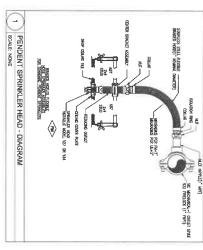


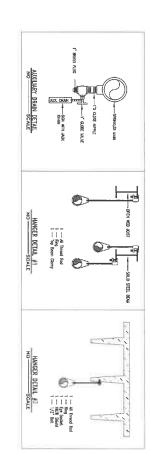














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D, ALL MATERIALS SHALL RE NEW, ALL EQUIPMENT SHALL REAR THE ULIFIA LARKL OBJAT SHIP DRANKINGS OF ALL THE PROTECTION REQUIPMENT AND JECOMO DRANKINGS FOR ALL WORLD OF

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I HA CLEMENTOS SEALL HOST THAT ALL STEAK COMPARENT ANT EXCUSIONS THE SHALLARS, TEPHCEN, THE ORTHACTOR SHALL PROTRES AND WOTALL THE MUNICIES OF STEAK OF SCULPRESS AS HACKOTES ON THE DRAWNESS AN AS DECEMBLY STAN A COMPLETE SASTOL. THE MOMERAL ROUND UNCENTS COMMAN, SPAIL MANURA ELEMENT, ETHER PROJECTIONS SET IN ASSOCIATION AT THE TRANSMICTION AND ASSOCIATION AT THE TRANSMICTION AND ASSOCIATION AT THE PROMISED AT THE PROPRIED OF THE SECTION AND ASSOCIATION ASSOCI

THE INTERTION OF THE SPECIFICATIONS AND DRAWINGS TO CHIL FOR FINISHED WORE, ITSTED, AND RESULT DRAIDIN, WHEREVER THE WORD PROVINGE IS USED, IT SAMIL HEAVE, TRISANDE AND RESULT COMPLETE AND DRAIDIN.

LANCA DETAILS NOT USUALIT SHOWN DIS SPECIFICI BUT RECESSARY FOIL PEDRES INSTALLATION AND DIPIGATION VALL DE TRICLIDE DINT THE COMPRACION'S WORK, THE SMALE AS IP HEABIN SPECIFICI CIR SHOWN.

LE MERAMES DEMPI ME LAND OF HIE ÉR PROTECTOS SOTIES AND MOCHT HE APPRICAME L'ADMONDE S'EMELTE, MONE, MONALE, AND CELLAND IL HE LAND AD LAND HET D'EMBLES AND MONE L'EMPRICA DE L'ADMONDE L'ADMONDE L'ADMONDE CHARLES AND ADMONDE CHARLES AND ADMONDE L'ADMONDE L

P SOSJEPANJEŠE ISTS TETNEKADANANOŠA ANDAS STI CONDITINS, THE PSE PROTEITORI CONDIZIONA KLI MOTET THE GENALIES AND THE COMPA, TROPE OS SCARMOS CONTINCE, THE PSE PROTEITORI CONDIZIONA RECEDAN RODIS, MONICH MOLICH MORE SECUL ENDERFIEDE CONTRIBUTE METH THE PREPARATE STATEMENT, WILL NOT

L THES CONTRACTOR, PROPETS SUBJECTED THE FILE ROOMS HAVE BEEN MADE FOR ALL ASSICTS OF THIS PROJECT.

STICION RESINARIE MAD SCHOTICH APPRANTICE, WAR RELIGIE HARTENAKE, AND OFFENDEN TO DIAME SMALK MANG LEICH ACTESSIEL. A LITHOLOGH THE CEREBER MANKE SCHOOLOGE THE HACHARI LOCATORS, THE CONSTINCTION HAD DESCRICT THAT SCHOLLICATION OF PART HACH SIGH SANK ACCESSALL THE SCHOOLOGE, THE CONSTITUTION HER PERSENTATION SHAM HE ADDRECT BEFORE GTHE CONSTRUCTION TO A STACE WHERE A CHANGE WILL LEIGHT ACROSSIES, DESCRICT

66 The Risponsieuty of the file protection contractor to study all constructor danathe 550 that the installation of all reprincing can be fully coordinated. Coordinate with all ando where bearte of Equamena".

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A. HAT POTECTEN (QUIHADE AND SCOLOTHOS APPANATOS AS MAI REQUEE MANTEMAKE AND DEDATO REALTHAET DARE SHAL SEAME SAKTI ACESSIEL AL PHOLOSH HE EQUIPALEM HAZE SE SOMMON HE DANHARA MELTAM KOLOTIONEN, TIE ÇONCTECTEN HAT DEÇICKE THAI MUCH (DOATON GIVET AMELIES POSTION REALET ACESSIELE

8 THE CONTRACTON SHALL LOCALE EQUIPMENT, WHICH HUSE SE SERVICE, DEBIATED ON HAMMERHED HE TALE SEALURE, WHICH HAVE SERVICE, DEPOSATED ON HAMMERHED HE TALE SEALURE, DURBY HAVES, DOT SEALURE, DANNE CONTRACT, DETAILS AND SEALURE, DANNE SEALURE, DANNES SEA

E. WORK LANDOTS SMALL BETHE RESPONSABILITEDE THE CONTRACTION, FOLLOWING JAHAMBIA REQUIRIEMENTS AS SET FORTIMEN THESE SPECIFICATIONS AND ACCOMPANSING DRAWNINGS.

LALL PROCE, MATERIALS AND DEPONENT SHALL EXCLAMPATED ASAINS GETTER ASSISTMENTED AS THE CENTRAL TRANSPORT OF THE THE ASSISTMENT OF THE THE ASSISTMENT OF THE THE ASSISTMENT OF THE ASSISTMENT OF

L CERT VICATION SHALL BE SUMMITTED ON THE CONTINUCTOR ATTESTING TO THE FACT THAT SPECIES EXPORATANCE CIRTERA ALE HISTOR ALL EQUIPMENT.

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E - 6 LUDRIÉGNAUE ID PROCEED RECHATIVA ÉTE NATICE DI CICHATY WITH THE ÉTENS OF THE GURMANIE, THE Danish annt mair the defoscorrecte and contractor and their sarty symles (label for all defoss rechafo.

C. DIAMANGS DO HOT INCLUDE NECESSARY GOMADNEHTS FOR CONSTRUCTION SAFETY. D. ENGINEER SHALL HIGH BE RESIDINGULE FOR THE SAFETY OF CONTRACTION ENAFIGHERS, MATERIALS ON FOLLOWINGTON. B. CONTRACTOR SHALL BERESPONSIBLE FOR PROTEST PROTECTION OF THEIR WORK, MATERIANS, MORE ON EMPLOYEES FROM WILLIEF OR LOSS DONE BY OTHERS AND SHALL AMAR GOOD SUCH INJURY AT THEIR OWN EXPONSI

N. E, PRI CONTRACTIONS CONTRACT, MORE ES SONOMED, SPECIFICION MANAJELI DI ALADZONEI AS TOI MALE IT MADOUGREE TO MORTH, A MEST, CALSO PRICE OF WACHE ON ENTITUMENT OF A PERFECTIV EFFICIORI JORI MINISTE CONNECTE, 1856 SAME TO AGE MI MORTHOS SEPONE SURBAUTI IND MORPOZALS.

SHOULD CONTINUTION FALL TO REFER SUCH INSTANCES TO AVE AS REQUIRED AGOVE, NO EXCUSE FOR POOR, DEFECTIVE OF ANCIONINETE WORK WILL BE ACCEPTED.

a. The Gurrantee Percoc Shall be for one (3) tead from the date of acceptance, which shall be the date of fixed preparts on the date of formal hotice of acceptance. Whichever is evalue.

Z MALTI GODO ANY NORGON MATERIAS, CHÎTHE COLUPAIENT AND CONTENES OF SAID BUILDING ON SITE OSTUBIED. Heddilling any such Cumantee.

A CONTRACTOR SHALL BE HED RESONABLE FOR HAY HAVINGS TO PROME FIGH ESTEDITION ON THE REPART OF MANAGE FORMET OF URING PREMICES ON ADDITIONS AND AS ON TO CHEER WOLK RESILLING FROM ESTEDITION ON THE REPART OF WORK, IN ARE MANAHEST WANTSOCKET.

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ENGINE ON COMPETCE IN THE PLANS AND SPECIFICATIONS.

COLEMBERT, SPRINKETH AND REVIOLED CHOICE, AS SHOWN, ASE DISCISSANIANTEC AND APPROXIMATE DWY WALKS THEIR THANKSONS, ACTUAL RESID COMMITTION, AND PROSCAL CHARACTERISTICS OF THE PRODUCT CORREST CONTINUES AND THE PROSIDENT AREAST TO SCHOOL CHARAMING CONSISTED WITH BUILDING CONSTRUCTION AND COLUMNIC HOLALLED BY DRIVES.

CONTRACTOR SHALL HOT SCALE HEISOMERHEN'S FROM THE DRAWHAS BUT CHECK WITH GEHEDAL DRIBACTOR'S LATEST BRANNESS, SHOP CEMPINGS, AND EQUIPME HT HARVIFACTULE IS INSTALLATION GUIDES SORE PHOCESONIC WITH ANY HOME.

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D. I, WITHON HAT COMMANTE PERIOD, RECHARG TO CHANAGE TO CHANAGHTED WOOK ARE RECHARGAS AS STOLE OF "HE CASE OF RECTOR, MANIBARD ON HECKNING WORKERAWNERS ON WOOK THAT CHO'D HA ACCORDANCE WITH HEE TROOKS OF THE COTH HEAT AND WORKERS FOR WHOSE THOM THE CHART, HE TO LICHMOND SHALL RECOVER WITHOUT DEFINE TO THE CHANGE.

A HARDY ALL POWER AND REMODER READ HE MAD IN MAN SAW. THE REWAITING, EVEN A SILVER CONTINUES A PROPERTIES AND A SILVER CONTINUES AND A SILVER CONTINUES AND A SILVER CONTINUES AND A SILVER AND A SILVER

FIRE PROTECTION SPECIFICATIONS

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4. Me with go not presental twice-qualitication for 11 moday? For Markey According home, Schotzel is aux. SCHOTZ into Caccomposition of 12 moday in process was decided in the Caccomposition of 12 moday in process was decided in the SCHOTZ into Markey in process was decided in the SCHOTZ into Markey in the Caccomposition of 12 Markey in the Caccomposition of 12

B. ATTIMOS, COMPINES, LINCON AND NEDUCES SHALL WAVE A MONERING PALSCARE OF NOT LESS THAN 125 YAS AND ULL LISTED FOR PRE-PROTECTION STATEMS, GROOMED BAD FITTINGS AND COULTINGS SHALL RECOMPATING FROM THE SAME MANUFACTURES, GROOTES SHALL BE FROM STANDARD GUSETT STREE.

C PROPIEM LE INTO LA HA PROPECCIONE REPORT SE PRINCES SE MENTE SPANI, EL CADAS INNE PER PRE MART LE PORTAC LE PRINCE PRINCENTE SESAN MENTE ANTE PRINCE PRINCES PRINCE

IO JAMERIJEKSIALL 18 ORDAMAY IDAMERHUNE CAKSITCATOM WOTH A TELEFRATURE KATING OF 155Y, EKZEM EN KAKASUNIKET ID ALMOMAK IKBAING CONDITIONS SPRINLIEN MINIEKAWAZIK & TEETINE INCAN AND JADME CELINGS SANLI HANE ATTAMERATURE SATING CH ZOPY. F, ALE PHE PROTECTION NAMERS SHALL BE TEXCONCROSES IN UNE ADJUSTIBLE BAND THE WITH THIS LADGO ICO NANKER SHACING AND SEE OF ACIDS SHALL BE ACCORDING TO NFFA 13, 2013 EDGICKY. TEMBLADED NOD SHALL BE GALWANIZED WHERE EXPECTED TO WARTERS OF NAMED ENVIADABLESTS. E, PROMOEBAKS WAL NOUMEO JAR DEPARTAENT GOMECTION WITH BIASS CAP AND CHAIS FRAAN Requirement, Promot Biaks Than Bans Lettere "Altomanie Sybrice" (

A. ALL VALMES SHALL IN OLL LISTED A FA APPICATED AND SLAMPED ON MAILED WITH AMANEACTURIES HAVE WIVES SHALL BE RESTALLED WITH A 175 PS-PIELS ARE RATING.

B. VALUES (NOVELS OR SAMILER SHALL BE BROWE, WITH NOVELS IN A SOJEWED BACK VALVES OF BR. 2-1)? THELE δ SHALL BE SAMILER SHALL BE BROWE. WITH NOVELS SHALL

D. BUTTER (LANYANCES SANT RE EDITIDACO ALLH RIVILL'IN LAWAGEV SHILOH ANLIN LAND SELECIE CONLYCLE C. CHECK VALVES SAWLI BE BIOM BODY, BROWEE MOUNTED, SWING TIPFE, WITH GROOVED BHOS ON PRING 2-1/2" B LANCIR, CHECK VALVES 2" AHD SAWLIER SAWLI BY ALL BROWEE WITH SCREWED BHOS

F. BACHGAM PROPRIEZE-AUST CORPORAÇÃO DESCRIVINO DE MONTHE PAPADA EI EXAL INTRA INMANS CRAFCART MANY OFFICIAL OF THE PARCE DAM PROFUNE FOR PROPRIE PARA PRACTICA MENTER IN PROPRIE BACHGAN TES CONNECTIONS AND DAMANALY MONZUS BACHTEST PRAVE. E "PROPOLE SOTIA OPARI MUNTES AND INSPECTION TEST DIMAIS SA TER HEM 13 7031 EDITION AND ANL DIMAIS SUML DE 1900/DD AFLDW PCINTS AN PRIVAC, AT BASE DY HISDIS, AND HIGHERY BHETESSAW FOR MICHOR DAMANGE.

 κ . Tamperpriesure, symposymmetry symposymmetry and κ . Lapped per tamper process cust aluminate housing and two sets of contacts. G. PRESQUAE SWATCHES, SUMERASONE SWATCHES AND TAMPER SWATCHES SHALL BE U.T. APPROVED CLOSED CIRCLE WITH ADDIVISIONAL PRETAID AND TWO SETS OF CONCINCTS.

SUBSTRUITED EQUIVARIEN WHICE FERMATICO MUST CONFORM TO SPACE REQUIRAMENTS, ANY SUBSTRUITED EQUIPAMENT HAI CHANGEN SERFE SHA ANGORECULARIO SECULED SENSE DA MODICIDAM SERFENÇACIÓN THE COMMENÇAS SERFES, AN ANGORECULARIO SECULED SENSE DA MODICIDAM CRESS THAT RESULT FICIA SUBSTRUITED EQUIPAHENT SHAND SE BODRE EN THAS CONTRACTOR.

B. SECURE REQUIRED PERWITS, RESPECTION B-TEST CENTRICATES, TRANSMIT SAME TO THE OWNER AT THE COMPRETION OF THE WORK, RAY ALL ASSOCIATED RES.

. UPOM COMPLETION, ALL DESERS SHALL BE REMOVED FROM THE SITE IL THE AREA LIFT BROOM CLEAN

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A. INSTALL AS ARCHARED TO MEET AFAN 33 ZOAL STATE OF INCIDE ESLAND - CITY OF PACHAGINEE FAIL DE MATIMENT - AND ALL AFRICOURE CITY CODES. A. Szenelés sayle edőkülő ső ihat tére időszaket avitek a kat osszáktető a sajákat Alametoljásta, szetép ado olrá osszáltonök szenelő elé egőtőköss khere rígjaktot Lokea szakossás kudh círake sufalzi adjantó pútides.

8). PIPPING SHALL BE INSTALLED TO PROVIDE THAT STATE SPACING TROM. A. PURMESIMAL OR MAN PARALLEL WITH THE LINES OF THE MANDRAS, WELL SUPPORTED HISTAIDE Yearly Turk: Free hazur poolitis and saks, httoh franc to drawn points.

E. ALI PEWA SAMIL IR DISIZI SUPPORTED FROM THE BINDONG TRIVICIDES BEMÉANS OF APPORTED MANDES AND DEPORTS, PART SUBJECTION TO MAINTON RECORDED GAMBIES AND PROPERTIES OF THE SUPPORT PRINCIPAL AND DESCOURT PRINCIPAL PART CAMPAGED SO AS TO PROPER TON FACE AND SMILL BE ARMANDED SO AS TO PROPER TON FROM THE COMPONING AND CONTROL CONTROL PART. ALL HOWING SHALL BE CONCEALED ABOVE SUSPENDED CEJUNGS WHIERE THEY DOCKUR.

E. SPACE KRANGENE VI ACCIONDANCE WITH HEPA 13 2013 AND WESSFANCE AND HARVE ACTIVESTS RESTALLATION REQUIREMENTS, RESTALL SEGNIC PROTECTION IN ACCIONDANCE WITH HIPA 13 2013 SECTION 8.3.

L ALL WARDING SHALL BE ET ELECTRICAL CONTRACTOR. 6. SUPPORT THE INCIDENT PREVENTER WITH PRESTANDS, PRESSALLER SECURED TO FLOOR SLAB

A AL HER PRECIDENCE MEMBRANDES HER SCOVED FOR PARADET 1994. IN STORM, IN STORM AND MEMBRAND FOR PRECIDENCE AND MEM

HOLLEGANOS NOT B. CONTRACTOR SHALL ALSO COMPLY WITH ANY SPECIFIC REQUIREMENTS OF THE CITY OF HORTH FIRE DEPARTMENT AND OWNER'S INSURANCE COMPANY.

IL VERRY THAT PROJECT RECORD DOCUMENTS ARE COMPLETE AS SPECIFED UNDER SUBMITIALS AND RECORD DOCUMENTS. A. PROVIDE PROPERLY DISCUSED CIRTHICATE OF WESTCHONFROM THE STATE FIRE AMAGINA'S PICKECTION OFFICE.

A. IT 5 THE WITCH OF THESE SPECIFICATIONS THAT WHEREVER, A AMARJECTURES S SPECIFIC AND SUBSTITUTIONS AND ACCOUNTS, THEY SHALL COMPOUN IN ALL ALSPECTS TO THE SPECIFIC OFFICIAL OFFICIAL PROPERTIES.

GREWINSHED, SPECIFIC EQUIPMENT SHALL BE ITS POPTED AS MARKAUM MESHOWANGEREQUESTATIONS.

C E SHALLE MANDRIF HE HAK CHARCHEN TO MANT HEND DE HICK MED SKYDDEN. ORDER HAN STORMEN SKYDDEN SKYDDEN HEND SKYDDEN S

A. ALL WORK SWALL LHET ON DOCKED LALEST RECOMBENISHES OF THE STATE BUILDING CODES HEYS STANDARD JIL, HES A RYDL, STANT & HOCAR CODES, BUILDINGS HOURIANG COMPANY, AND AUTHORITES HAKARD JURISECKTIKM DYALTHE WYDIK OF THE PROJECT.

A. SKI (G) COMES OF HYMG LANCHES AND CERTIFED ECHIMAENT MAHUFACTURENS DATA SHALL BE SUBMITTED FOR APPROVAL RIJOR TO FABRICATION, ERECTION OR PURCHASE.

A. BAME ALL TISSING AND CLEANNS ON ALL SYSTEMS, WITH A WRITTEN GRAVANTEE ALL TISSTS TO SE IN ACCUSIONACE WITH NEWA 25 2013 TOTION AND APPEIONED BY ALL STATE & CITY ACRICIIS AT CONTRACTION COST.

CLEAN AND TEST ALL NEW AND EXSTING SPRINCLERS SYSTEM PIPING

A, JATER FANA, TESTS AND ADASTANENTS FALTY INSTRUCT CARRESS OPERATING FERSCHWER WILL DETAIL OF DEPARTMENT FERSCHWER WILL DETAIL OF DEVARDS KERE ELOWSTRADE AND THE CONSTRUCT OF DEVARDS WILL BE CONSTRUCTOR OF ENDANCES FALL BE CONSTRUCTOR OF THE SATION ACTORIC.



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Requires Revision



THE WASHINGTON
TRUST COMPANY
371 PUINAM PIKE
SMITHFIELD, RI 02917



SPECIFICATIONS AS NOTED 04.01.23 00.00481 DH 2022-79

FZA PROJECT: PR-23-00509 FP3.0

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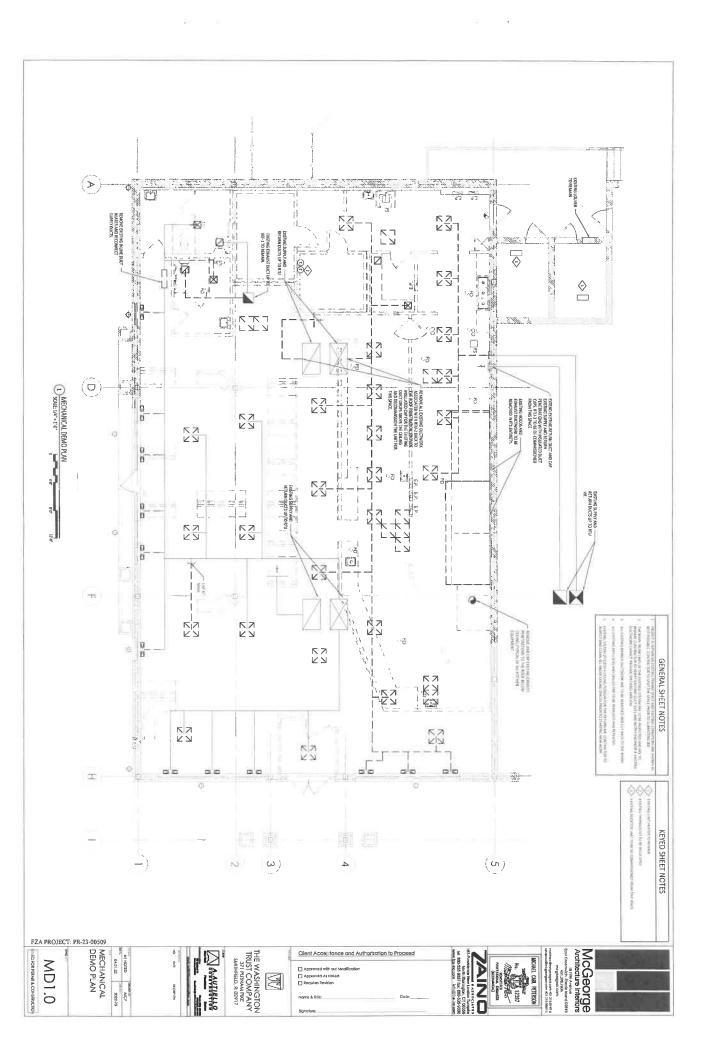
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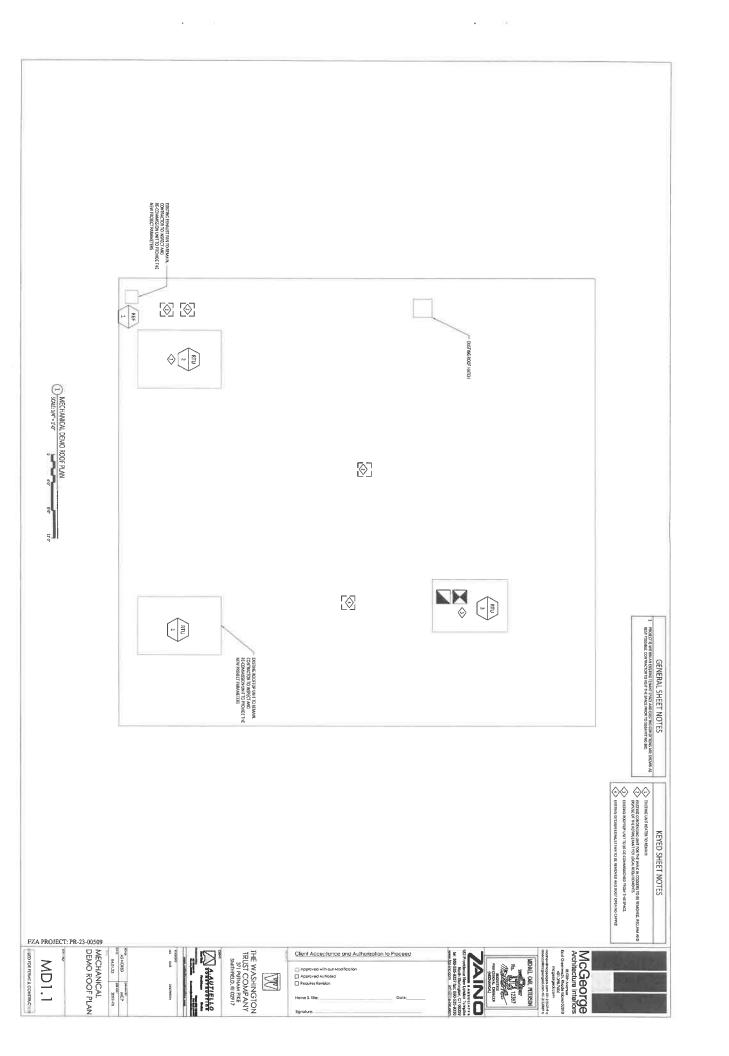
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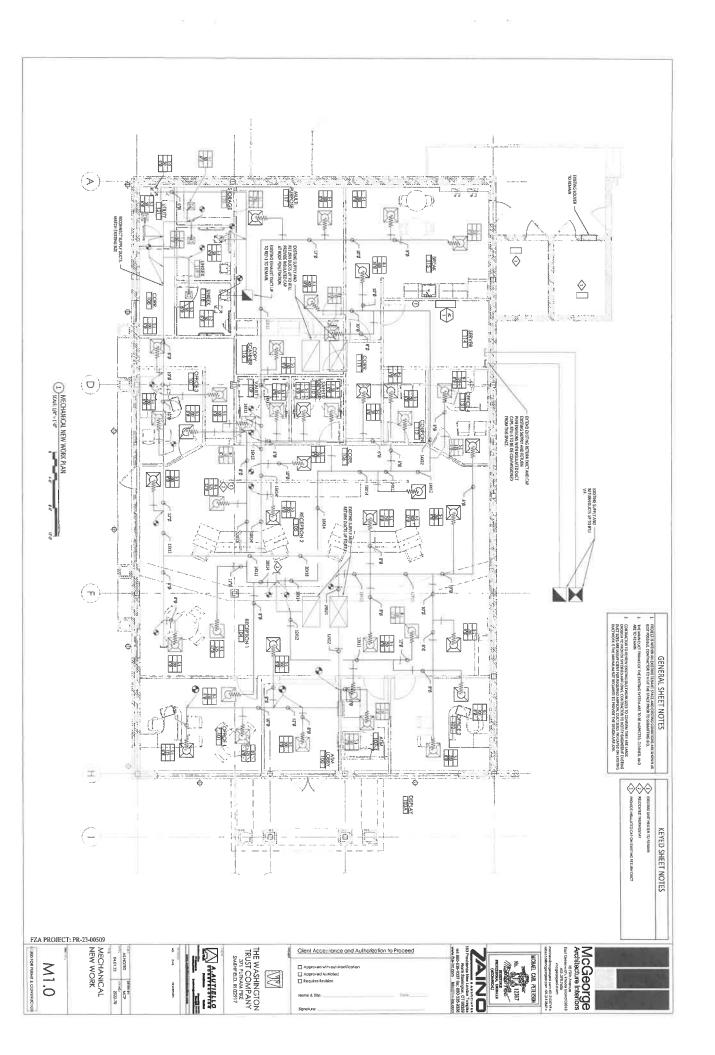


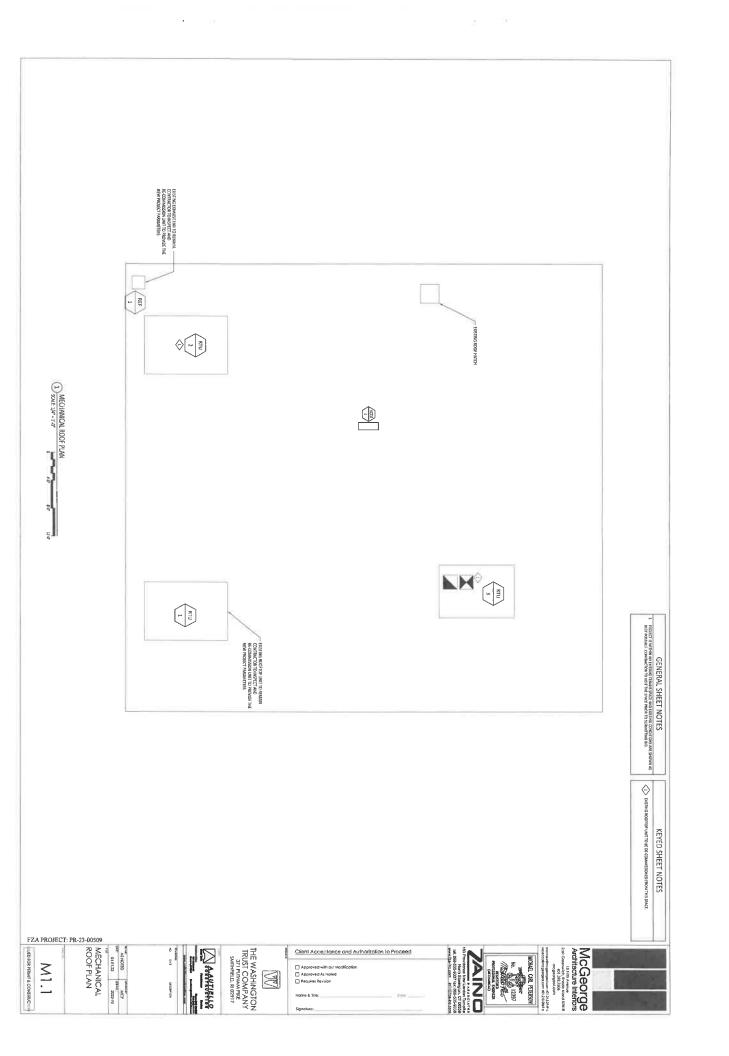












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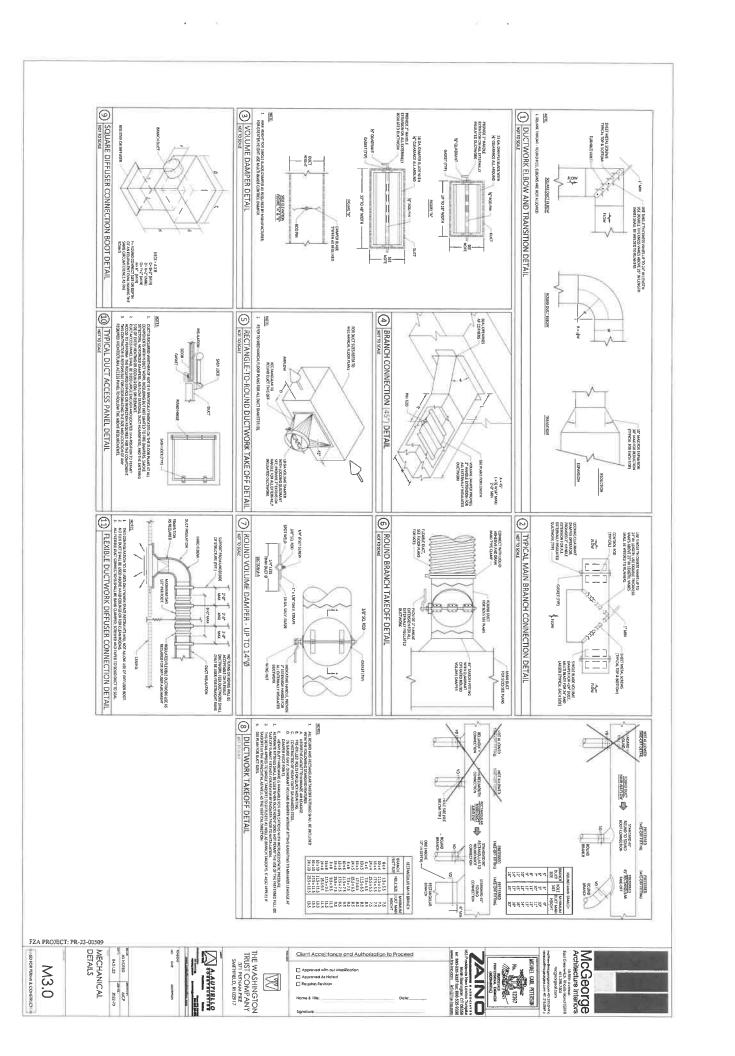
THE WASHINGTON
TRUST COMPANY
371 PUTNAM PIKE
SMITHFIELD, RI 02917

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Client Acceptance and Authorization to Proceed Approved with out Mod
Approved As Noted
Requires Revision







MECHANICAL SPECIFICATIONS

- SCHE (* 1806 SML BAULDE LL LUDGI, WATENEL (DUSS, ELEMBE). INVESCRIETE, MESCRIE, SCHOOL RESUMBLE, ECT., ID FESTORE HE 1904 IS NOCHELL BOWNES AM RESUM STEEDE TOTAL AND AUTHOR SMALE RESUMBLE STEEDE TOTAL ALL YORK SMALE EST.

 ODERWIES HAME LIBERATION, AS RETOREIED BY DE ARCHITE/FLORIETE.

- SECOND DEWARKS, RE CORRECTED SHALL DEED DAY FORTHD ACTIVITY DECEMBER OF ALL DEPARTMENTS, RE CORRECTED SHALL DESCRIPTION OF THE CORRECT DESCRIPTION OF THE CO ALL INTERNES SHALL BE NEW. ALL EQUIPMENT SHALL BEAR THE U.L. U-BEL

- IF, WHIN ANY CARANTER FROD, RETINES OR CHANGES TO ELEMENTED MOSE AND RECORDED AS A RESULT OF THE LEES OF CONTENTS METHODS AND THE CHANGES AND THE CHANGES WITH definitions shall be sublitted by the compactor attention to the fact that specified percorpance critical are bet all sourwent.
- IN ATTIMENT HE EXCURSIONES OF THE CONTRICT OF OF ANY CARAMITET DARRACTO IN OR RECORDS INSECTED, ANY WORK CHARAMITED LINKER AND CONTRICT OF EXCURSIONED WINDOWS AND ASSESSMENT OF THE SAME ENTIRE IN ORDER CONTRICT OF EXCURSIONAL AND CHARAMITED LINKER SCHOOL OF THE SAME ENTIRE IN ORDER CONTRICT.
- IF UPON FALLINE TO PROCEED PROMPILY ATTER HOTICE TO COMPLY WITH THE TENKS OF THE QUARMITE, THE DWINES MAY HAVE THE EFFECTS CORRECTED AND CHRITICITION AND HIS SUPERTY SHALL BE LIKELE FOR ALL EXPONENTS INCLIDED.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PROTECTION OF HIS WORK, WATERNES, PEOPLE OR EMPLOYEES FROM WARP OR LOSS DONE BY OTHERS AND SHALL WARE COLD SUCH HALLOY AT HIS DRIN EXPENSE.

-). Enchesik shall hot be responsible for the safety of compactor's employees, materials or equipment.

HAS COMPRETOR SWILL COORDINATE ALL WILL, COLLING, RIGOR, ROOF AND BEAU PENETRATIONS WITH ARCHITECT AND STRUCTURAL EXCINERY.

- PACE TO CHARLY SEACTION, CHITACTOR SHALL EGAILY WITH OWER ARY EXAMPLED TO BE RETURNED TO THE OWER ATTER CONCURN. ALL OTHER DESIGNATION.
- THE CONTINUENCE SHALL RIGHTED MORE AGAINST WARF OR DIMMOS; AND CONSTILLT STORE MALERIAL AND COMPRISH TO BE RELOCATED. OPEN BIGS OF MORE SHALL BE ELICISED WITH TEMPORARY CONERS OR PLAUS JUSTICAL AND CONSTRUCTION TO PROPORT CHIEF OF COSTRUCTION MATERIAL.
- SEE METAWAYU, RELICHION DANNAS FOR HITI (OCATING OF EQUIPADAT CHLED OUT TO BE BELOCATED." ALL RELOCATED EQUIPADAT SAALI HAVE ASSOCIATED ELECTRICAL AND CONTROLS EXLUPADAT SLOCATED ACCORDINACY.
- LICALLY ROCKO'R TIE ROTROZIANT IN DIGITAG COMPACIT AND EXICULIF PROS TO DESPOSA OF THE EQUIPACIT. THE RECIPERTO RETROZIANT SINL BE ROCLARDE RECYCLED OR EXENCED OF IN CONFLANCE WITH EMPENABELIAL PROLICEION ACCIONT (EPA), AND AN COMMISSIONED AND REDISCION RESIDIER, (AN) RECOMMENDATE AND ROCKOLEROS.
- Products equalso ar construction but not secondully described herem shall de as soldted by the compaction subject to the approval of the arbitect and decrease.

- PROVIDE ALL HANGERS AND SUPPORTS AS REQUIRED TO SUPPORT ALL NEW PIPMS, DUCTHORY AND EQUIPMONT

- ALL EXPOSED EXLANDING (REDISTERS, LIMIT HEATERS, ETC.) SHALL HAVE COLORS SELECTED BY THE ARCHITECT, LIALESS NOTED OTHERWISE

THE T- CHESS DIDESTIS OF MICHAEL YOR

- MPRLY AND PAY FOR ALL HECKSSMRY INSPECTION FEES, LIKENSES AND PERMITS REQUIRED BY THE PROPER AUTHORITES HAWNS LIMISDICTION.
- THE BULDING WILL BE COCKINED DURNE ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEFELOPED WITH THE UNDESENDING THAT THE BULDING IS DECEMBED AND THAT IT CAN HETWER BE CLOSED AND CAN THE DIMENTS OPERATIONS STOP.
- NO EXILS SAMT SECROSED ALLHORIL THE MULLIPLY SERVICED OF LINE DAWER WITH TROOP YOUR WINDOWS PRINCE TRIBEDICTION SWLL BE SCHEDULED WITH THE ARCHITECT/OWNER PROR TO COMMENCING OF WORK.
- SLEWE SHOP BOWINGS OF ALL MUC EQUIPMENT AND RECORD DISTRIKES FIRE ALL WERK PROVIDED INDER THIS CONTRACT TO THE ARCHITEC/CHAHER FIRE HIS LISE PROVE TO CRECIONAL FARROLITING DR HETALINE SHAP.

- AL YORK, MILHOUS ON COMPANION SHALL CHAN WITH AGAIN FERTING RESULTS RESULTED THE REPUBLICATION OF THE CHANGE OF TH
- THE RUMBNET PERSON SHAL BE FOR ONE (1) TEAR FROM THE DATE OF ACCEPTANCE, WHICH SHALL BE THE DATE OF TRAM, PARKETH OR THE DATE OF TRAMA, INTICES
 OF ACCEPTANCE, WHICHERS IS CARLOS.
- REPAR ALL DAMAS TO THE BULDWO ON STEEDERSHIPS ON CONTENTS THEREOF WHICH IS THE RESIALD OF THE USE OF DEFETTHE WITHOUTS ON COMPANIES WITH THE TENGS OF THE CONTRACT.
- WHE COOD ANY WORK OR INTERNES, OR THE EQUIPMENT AND CONTENTS OF SHID BUILDING OR SITE DISTURBED IN PLUFILLING ANY SUCH GARANTEE
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY INJURES TO PEOPLE, EXPLIDEES OR DAMAGE COHE TO BINDIAG PREMIESS OR ADJOINAGE ARGIS OR TO OTHER WORK RESILETING FROM DECOMED ON HIS FAMILY WORK IN ANY MANIFES HAUSSCROEP.
- NECESSARY COMPONENTS FOR CO

1.04 COORDINATION AND INTERPREDATION OF DRIVINGS:

- THE COMPACTION PROVE TO SUBJURING BD SHALL NEET THE PROJECT STIE TO BECOME FAMILIAN WITH ALL EXISTING CONDITIONS AND TO INSERT THAT ALL PROJECTS HAVE BEEN MADE TOR ALL ASPECTS OF THIS PROJECT.
- e desembles dost istracio dominos anolor sie constinos, ne hac contactor same, kotem de danera ano ne daner fora to scamo of Carinacio. Romass for compresidon cor estra asion, kaco adado ano esta medio en complanaco ann de presidos stateacio, all kat ae Consocio.
- LEVANAL EXPENSI NO SOCI OTRI PRIVATO, AS MY GOME MANDRACE NO OPPOSITION FIRST IN ITS "O THE SOLI LEVANS CONTROL PRIVATE AS AN ORDER TO THE SOLI LEVANS CONTROL PRIVATE AS AN ORDER TO THE SOLI LEVANS CONTROL PRIVATE AS AN ORDER TO THE CONTROL PRIVATE ASSESSMENT AS EXCENSIVE TO THE CONTROL PRIVATE ASSESSMENT AS EXCENSIVE TO THE CONTROL PRIVATE ASSESSMENT AS EXCENSIVE TO THE CONTROL PRIVATE ASSESSMENT AS AN ORDER TO THE CONTROL PRIVATE AS AN ORDER TO THE CONTROL PRIVATE ASSESSMENT AS AN ORDER TO THE CONTROL PRIVATE ASSESSMENT
- IT SWALL BE THE RESPONSIBILITY OF THE HONG CONTROCTOR TO STUDY ALL DOMININGS AND DETAILS SO THAT THE INSTALLATION OF ALL NEW WORK CAN BE FULLY CONTROWNED HITH ALL TRACES TO AROU INTERFERENCE OF EQUIPMENT.
- HAC WON IS NORTHED INCOMMENTALLY. BUILT LOCATION OF ALL COMPONINTS ARE TO BE DETENANCO IN THE RELD AND BY THE ACTIVAL BUILDING CONCINCING MEDICAL OF ALL OCCUPANCIAL OF THE ACTIVAL BUILDING CONCINCING AS REQUIRED AT IND ACCORDINAL DOCS TO THE DIRECT.

- Continuation shall year sae, and designe conditions and deficialies that that after notion of this section. Designing work wall resulted overall, safe exhauntly proce to decome.

- THE INCOMPACT CONTRACTOR SWALL BE RESPONSIBLE FOR THE DISCOMECTION AND REJIONAL OF THE DISTING INCOMPACT, DUCTHORS, PRINC, IN DESCRIPTIONS TO WHITH DUCTHOR.

- POWER ALL WIERALS, USIN, ME ACESSORES FOR A COMPLET ME DESIRED SSTEAS ARE AS RECORDED BY THE EQUIPMENT MANAGEMENTS INSTALLMENT INSTRUCTIONS:
- ALL EXPOSED EQUIPMENT (REZISTUS), UNIT HEATERS, ETC.) SHALL HAVE COLORS SELECTED BY THE ARCHITECT, UNLESS NOTED OTHERWISE.
- roducts squarto ay construction but not securply expored heren sant be as selecte by the compactor subject to the approach of the
- mande al madeals, have, no accessors for a complie no depuble stades and as redured by the (gupleti majacidests negalators
- PHONDS ALL HANGERS AND SUPPORTS AS REDURED TO SUPPORT ALL NEW PIPMS, DIJCTHORK AND EQUIPMENT.

AL RADAI CATING, DOS DIGUIJO NO PATISMO SERVED FOR REGULADOI OF HE NECHNOL. STEEL SHAL OF HE RECYNOLATY OF HE JACONA, CORNOCION, ALL PRAIN HASSHOR REJINE TO THE COMMUTIES 1995 SHAL OF HE RESPONDENT OF OHE THOUSE IN ACCIONANCE HIS ORDER SECTION OF THIS SHEED CONCIONAL LANGE OF A CHAPTER AND INSTALLADOIS.

2.06 REPRESION FOR MESONIEN

FITTINGS: ASME BIG.18, CAST BRASS, OR ASME BIG.22, SOLDER WISCUCHT

H-ANTIMONY, DR RIV AND SLYER, WITH WELTING RANGE 430 TO 535 DEGREES F

PROMOE AND INSTALLED 1" THICK INSULATION ON ALL PRING MANUFACTURED BY ARMACO

- RETALLATION OF THE HAIC SYSTEM SHALL FEBRIT ACCESSIBILITY FOR SERVICE AND/OR REPLACEMENT OF NEW AND EXISTING EQUIPMENT.
- ALL CRUMS INJURIED EQUIPMENT SHALL BE INSTALLED IN SUCH A WAY THAT UISHES, PRING, AND DUCTROOK OD HOT BLOCK ACCESS TO UNITS AND RELATED ACCESS

1.05 SHORE AND FRESTOPPING

- RESIDP ALL PROFUNDOS GETIEST OLOSS A FEE HATD MALS BIM JAPOSOS FEE SODEMA ASSEMELS AL MALACIDADES EST MINISTRO, COM CORRES, COM HATL THE ASSEMENTS MAL COMMEY WAS THE LIEST MAPILASE ENGEMENTS OF THE BUILDERS COS, FOR SUMPLIES AND CHREST RESIDIANCE COMPINE, PROFUED IL LEFED ELEMA, CRIA DOST TIPS, OF PROPOSED APPROPAGE, ASSEMENTS WITH OF THE RECEMBAN, EXPIRED SCHAFFLE

- anabre imagnaturens. Sarrett di compumes ach regurdiotis, products are unito to seton, baupt de bruar haga fare a manaa de 5 hoas Edebrones in the umaracturiag de lectanoca, decretacion products.

- USE BLACK LAMINITED PHOLOCIC MANIFOLATES 6" LONG X 5" WICH WITH WHATE WOSED LETERANG 3," HOSE, ATTACH TO EXCIPMENT WITH STANLESS STEEL ON BRACK SORGING, OR BACTS.
- SOUTH DATE OF THE PROPERTY.

- NO FLENSIE DUCT WILL BE ACCEPTABLE
- MEN DUCT
- ALL DUCTIONS EXPOSED TO TEATHER SHALL BE 3" BIGD BOARD R-12 WITH WIRE. ALL INSTALLED, SMALL COMPONE WITH ALL THE HOURD ROTHES AS DETINATED BY HEFA 255, "NETHAD OF TEST OF SURFINE BREWING CHARACTERISTICS OF BILLING WITHOUT, NOTH EAR OF ILL 765. IN SURFIX BREWING CHARACTERISTICS OF BILLING WITHOUT A FLAME SPREAD ROTHE OF 25 OR SURFIX BREWING DEVILOPED ROTHING OF 50.

- DAIPER BLUES SHALL BE THO CHORS HEARER THAN ADADNES OLICINORS, AND SHALL BE RIFERD TO SUPPORTING ROOS, HEA OVER EDGES PARKLED. TO ROOS.

- 2.04 REGISTERS, GRILLES, & DIFFUSEING:
- CORQUART CALLES WITH COLURG AND WALL CONSTRUCTION, RESER TO ARCHITECTURAL DRAWNES FOR EXACT LEHTHS AND FOR FRANKS AND WITCHES ASSOCIATION THAT MAY SEEN FROM THATS, SHOWN OF MAY CONSTRUCT.

- FITTHOS: ASTN 02486 OR 02467, PAC
- A. MICH ALL PRINGS 1/4" 1"-0".

 BETWEENAT PRINGS

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- ALL MECELLARDAS STRACTURAL SUPPORTS REQUIRED FOR INSIC EQUIRADIT INSTALLATION SHILL BE PROVIDED BY MECHANICAL CONTRACTOR.
- EXICT LOCATION OF EQUIPMENT TO BE DETERMINED BY ARCHITECTURAL REFLECTED COLUMN FLAM. EXCINEDE SHALL APPROVE FINAL LOCATION

UNIT IS A HEAT PULIP SO BOTH REFRICEDANT AND SLICTION LINES REQUIRE EXTERNAL INSULATION PRINC INSULATION SIMIL BE INSTALLED TO BE CONTINUOUS THRU ALL INALL PENETRATIONS.

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- G. INSTALL PLOSA THETRADISTATS 48" (MACHINA) ABONE PANSHED FLOOR OR AS OTHERWISE DIRECTED BY THE ARCHITECT.
- ALL PANE RESIDE ROUSH RECHOIT WILL SLEE, FLOOS, IEL SHIL LINK EITH SLETNEAK, E' RECHOI SIGNIAMEN SIRKAE, HE SWE RETEN HE RES, BAI HE SLEDS BAIL IE CHARLES PACKED HEN HE MORGON DESIDERON MUTEUL AFTSI RESIDERWIL MUTEUL HE EIZH BOTHLED MOUND RESED A 26° GUAC SHETI IEUK COLUR SHYL EE SCORED MOUND THE PPE TO REARE TORTIESS.

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ALL DUPTINGS SHALL BE OF THE FOLKS ELAWARDS SELD. CHROSTOPED AND SEPRENDE AS TOS SAWAN, MER PESSURES SHAMPERS. SOWER THROUGH FOLKS THE BEAM AND THE STAMPERS. SOWER THROUGH FOLKS THE SAWAN MER PESSURE WITH DEPOSIT AS THE SAWAN MER THROUGH AND THE SAWAN MER THROUGH AND TH

2.05 PPE IMMERS AND SUPPORTS.

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- AL RECHARLAR DACE TO RE HISLATED SHAL RE PHOLED FOR SHITSHING, ALL CHEEN COMPARE SHALL RE CHESSE BROOK TO PRECAST VIBRIOUS. ALL CONTRON EXPORTED, SHALL RE OF FOREIGED SHEEL HER AND RE BRILL THE ACCOUNTED SHAMES HAVE SHARDED AND FOREIGNESS.
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- SUPPORTS SWILL BE 59/23 HOT LONE THAN 6"-4" n.C. AND SWILL BE STEEL STAPP HANDES, (PURENNEED STAPP HOT PRAINTED) FOR DUCKS OF TO AN' STAPP AND SES SWILL BE 1" ; 15 LUCKE LANGLAN CHESCHES LECKE OF DUCK AND HONNO JACKES Z', PROTECTI TO SIDES AND SOTTION WITH SHEEL SUCKES.

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- PROME "THAN REQUIRING ON APPORED EVAL, MANUAL HANDRAKE RECTURGILAR OPPOSED RANCE RANCE INCIDENTES TESS THAN 12" TITS PACTION RECOLUZIO LOCADA MANO GARANTES DITINOS OF TORAL NAMPOS ACRULID IN EXTENSION DACTI: ON EXAS SUPPLY, RETURN AND ENHANTE DACT LOCAL-OF B. A. SACHIACA-OF TO BESIERDE, RALLE ON REPUBSIA.
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- DIMPERS 12" AND LARGER IN HIGGHT SHALL BE OPPOSED MALTI-BLACE EQUAL TO GREENHEEK, MALOR, OR YEAT PRODUCTS.
- SHOUTS SHALL BE OLUMBED WELL, SCHED TO BUTHERS WITH SHEET WITH, SCHEW WITH LOCAMS QUIENNIT ARK (SEE SEA, CLASS SECTION FOR ADDITIONAL EXCURRENCIES), PROMDE 2" HANGE EXCURSION FOR ALL DIMPOSS ON EXTERNALLY MOUNTED BUTHERS.
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McGeorge Architecture Interiors





Client Acceptance and Authorization to Proceed

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3.02 PACKAGES ROOFTOP UNIT CONTROL

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THE WASHINGTON
TRUST COMPANY
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SMITHFIELD, RI 02917

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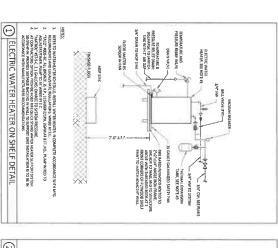
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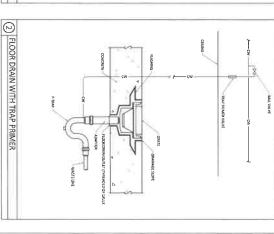
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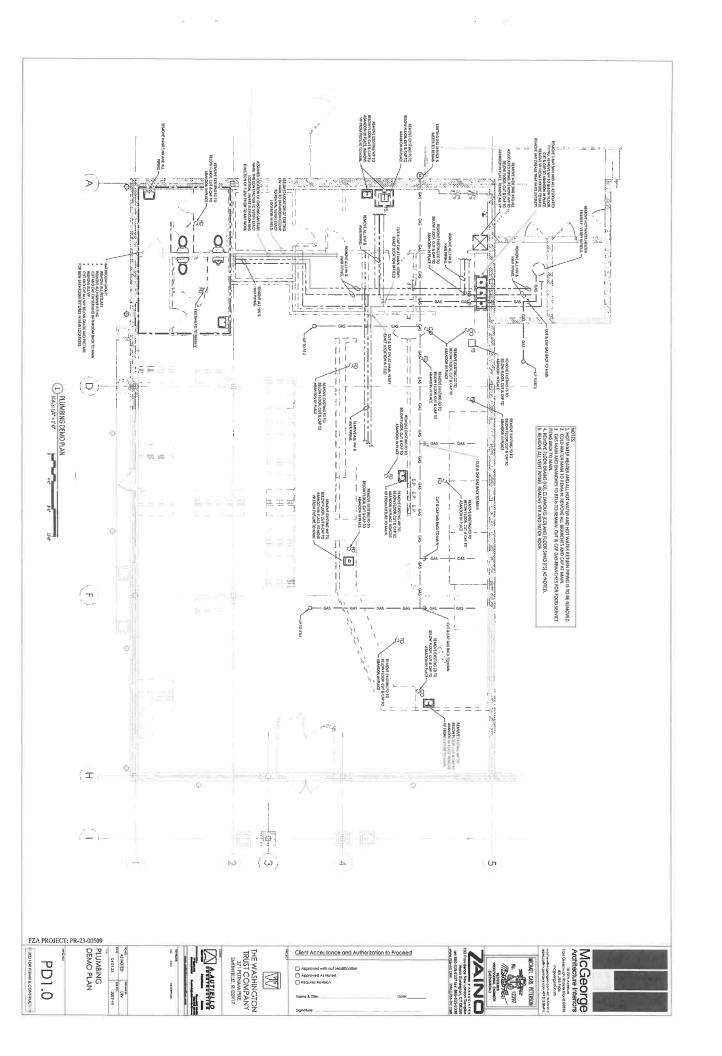
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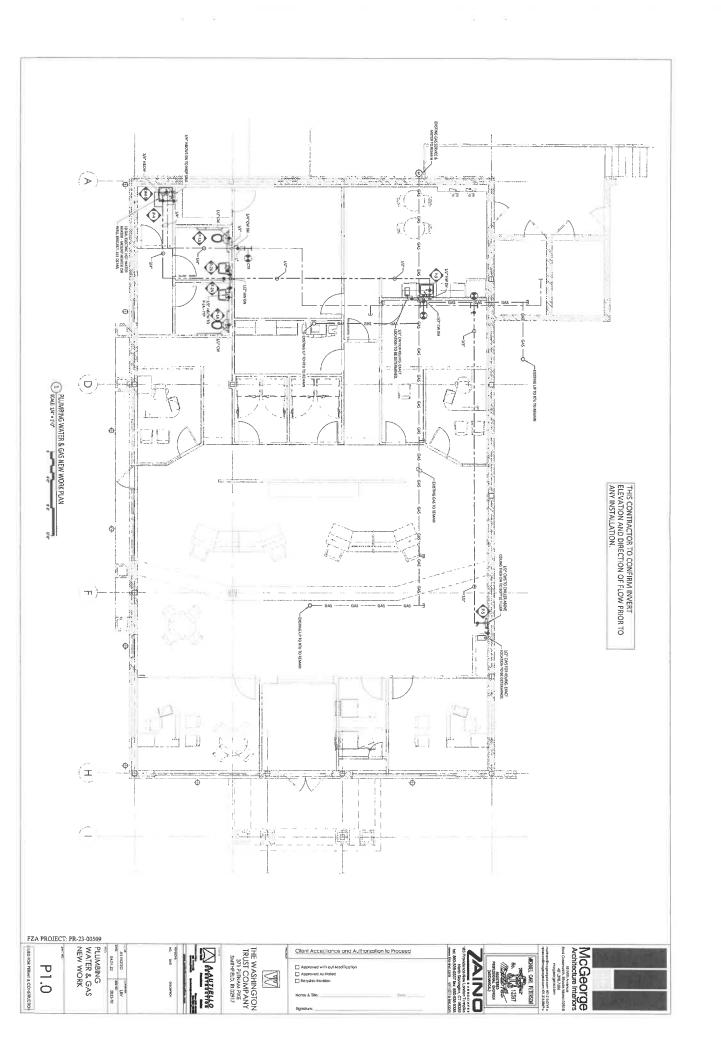
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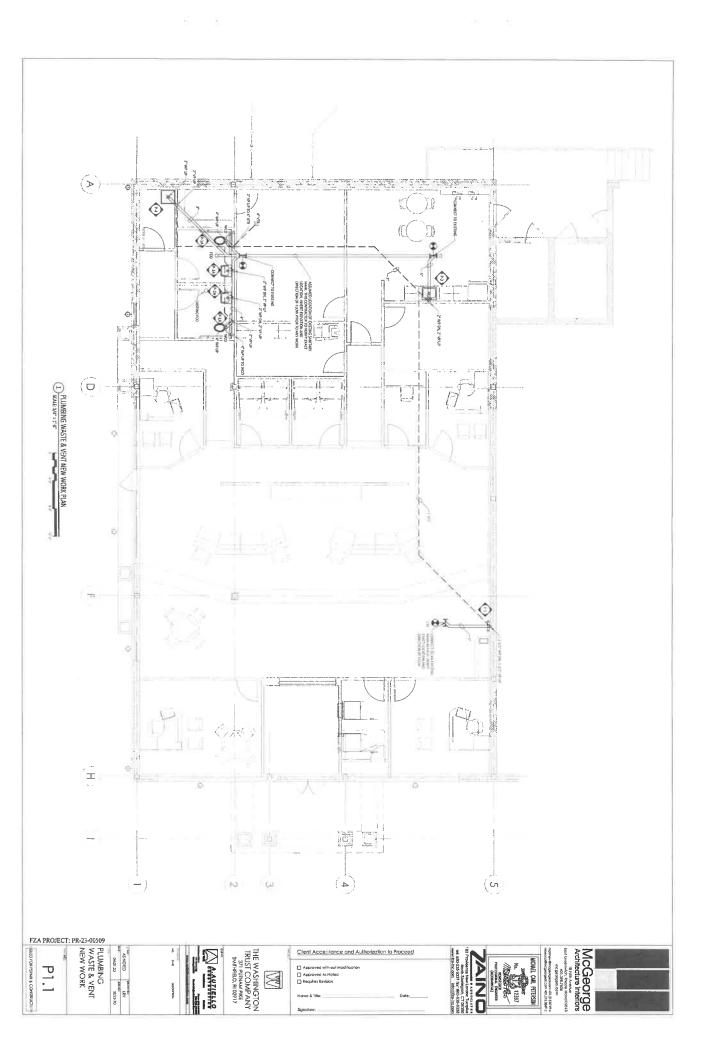
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GENERAL PLUMBING SPECIFICATIONS

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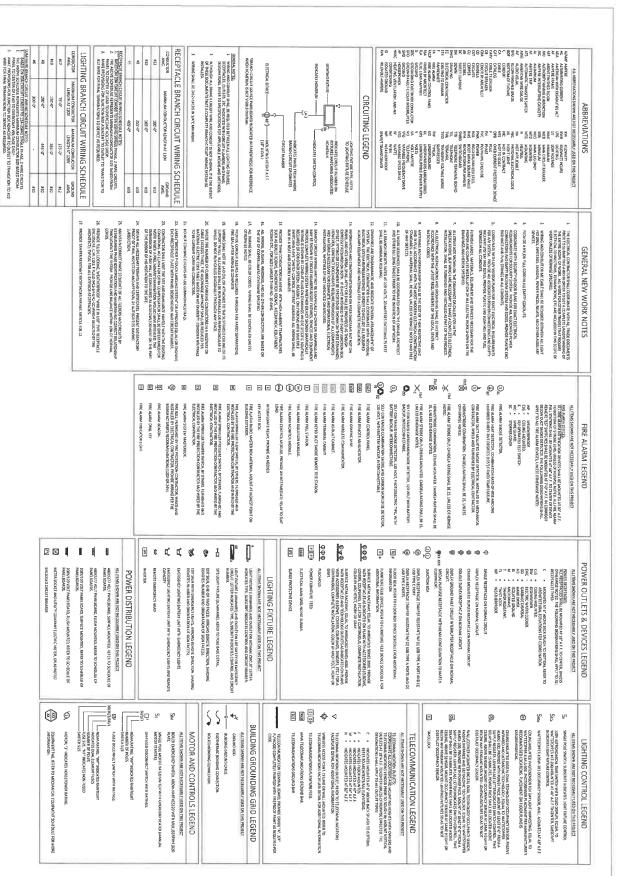
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SMITHFIELD, RI 02917



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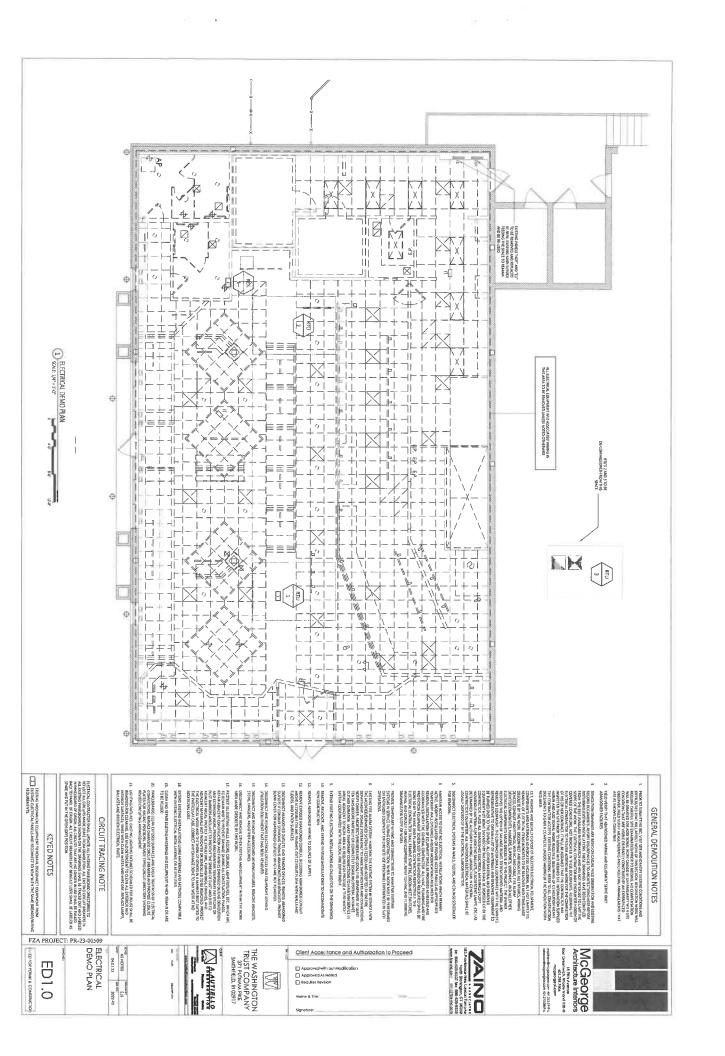
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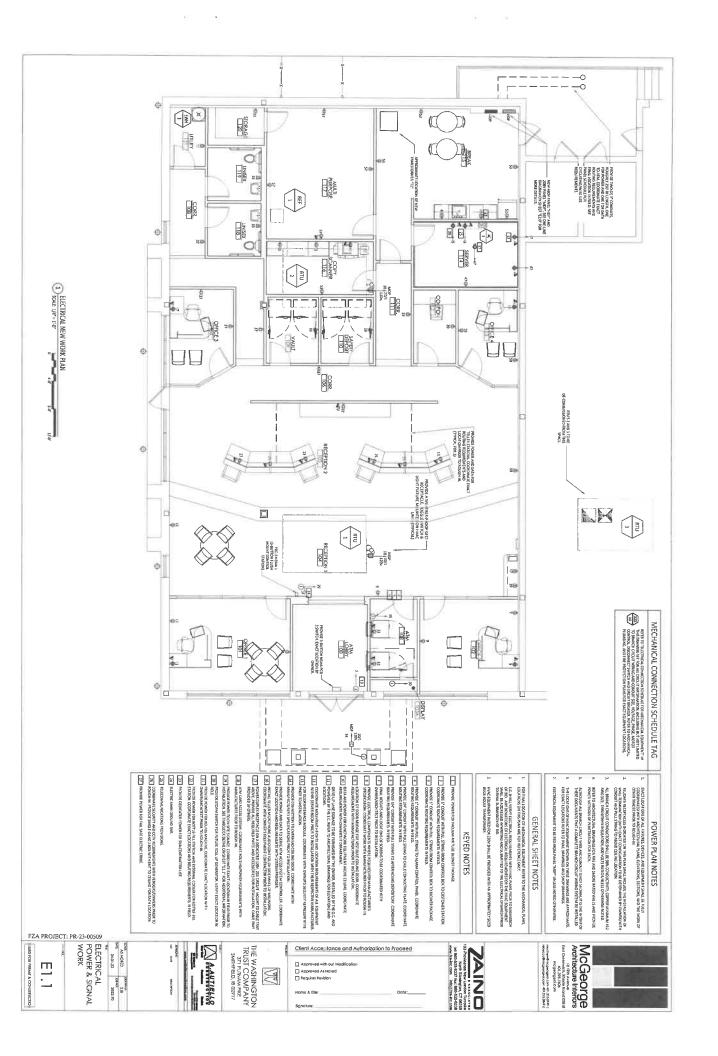
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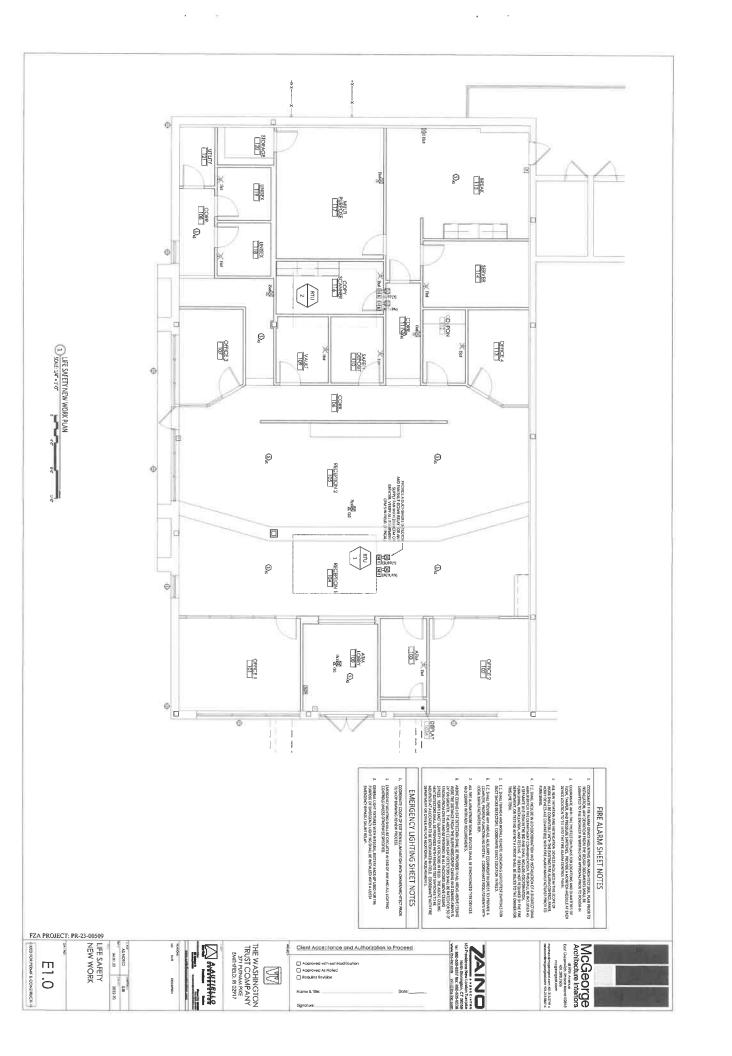
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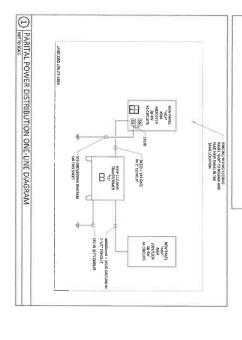
ELECTRICAL LEGEND & SYMBOLS

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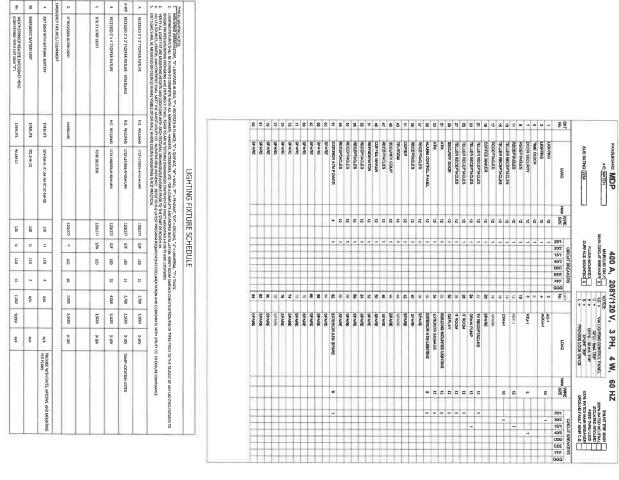






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3. SEISMIC RESTRAINTS SWALL BE DESIGNED IN ACCORDANCE WITH SEISMIC FORCE LEVELS AS DETAILED IN THE APPLICABLE BURDING CODE. THIS CONTRACTOR SHALL REGISTES A PROTESSIONAL STRUCTURAL DISERRESS REGISTEDE ON THE RESISSION OF THE PROTESSION OF THE REVIEW IN THE REPLACE ONE TO DETERMENE ALL SESSION EXERTING THE SEQUENCES TO A FINAL REPORTED STRUCTURA CHILL AS SESSION EXTERMENT SHAP DE ANNOCATION OF THE PROTESSIONAL STRUCTURAL REPORTED SCLUCAN TORS PREPARED BY THE PROFESSIONAL STRUCTURAL REPORTED SCRUCTURA CHILL STRUCTURA CHILL STRUCTURA CHILD STRUCT CORNAUL PRE STOPPHIC SHALL BE PROVIDED BY THIS CONTRACTOR FOR ALL PLODE, CEUNG AND THE ENTED WALL PREPRIATIONS FOR COMOUNT, SEERING THE CONTRACTOR SHALL PROVIDE A THIS STOP SYSTEM IN ACCORDANCE WITH THE PALLOWING: GEMERAL IN STREINTRY OF THIS SEGME SPECKHATION TO REPAILESCIPICAL BULDING STEEM CHAPTER OF THIS SEGME SPECKHATION TO REPAILESCIPICAL BULDING A STEEM CHAPTER OF THE REPAILED IN STREIN CHAPTER OF THE SEGME OF THE STREIN CHAPTER OF THE STREIN CHAPTER OF THE SEGME OF THE SEGME OF THE STREIN CHAPTER OF THE SEGME OF THE S INTERMENTS. PANEL "ADD" SHALE SERVICE ENTRANCE PARED. PROVINCE A 1754-DE RESEARCH IN DISTRIBUTION FAMEL "ADD" TO FEED TRANSCIONAER. FOUND INCUTINAL OF TRANSCIONAES SCOMMAN" TO THE TRANSCIONAER DISCROSLIE WITH 112,24°C. SPECIAL CARE SPALLE REVARENTIFIE ECETRICAL STETMES NOT TO COMESCANES AND THE BRILLINGHE GREE PRINTEDIAN CLOCK, WALLS ON MICHAERANES, PROFICE ALL PRESTOPPING RECURRED TO CORRET WITH THE BRILLINGHE CORD, THE LECETRICAL COCO THE SEA ANT SHALL FORM A SUBSPACE CAPAIS, E OF BEING SMODED AND PAINTED TO MATCH SUBSOLINDING SUBSACES, AND SHALL BE IMPERVIOUS TO WATER WHEN DIF. THE SCALAMT SUPPLIED SHALL BE A TWO STAGED HITUMESCENT AND CAPABL DE EXPANDING UP TO 8 TOMES ITS ORIGINAL NOLUME. ALL ECLIPPAGENT, COMBUTE AND PULL SOCIES SHALL BE JACEGLARIEV BESTRANIED TO BESTER SERVINE CONCRETE SETMAL HE DEVICES SHALL BE JACEGRAFILD AND SELECTED TO MESS SESSIONE BECUMEN MANTS AS DEFINED IN THE LATEST TISSUE OF THE BOCK MATCHALL BUILDING CODE IN ACCOMMANCE WHITH THE APPLICABLE SESSIONE ZODE. THE SEALANT SUPPLIED SHOLL CONTAIN NO ASJESTOS, NO FIRERGLASS, AND NO SOLVENTS WOT CORROSIVE MINERAL SALTS OF ANY KIND. THE FIRE STOP SEALANT SHALL BE SPECSEAL SEALANT AS MANUFACTURED BY SPECIFED TECHNOLOGICS, INC. OR APPROVED EQUAL THE FIRE STOP SYSTEM SHALL BE TESTED TO THE TIME/TEMPERATURE REQUIREMENTS OF ASTM £119 AND SHALL BE ULTAPS (ASTM £814) AND CLASSIERD FOR UP TO 3 MOURS. THE SYSTEM SHALL CONSIST OF A WATER BASED SEALANT AND SUITABLE DAMMANG MATERIALS (WHERE REQUIRED) AND BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. SEISMIC RESTRAINT NOTES EQUIPMENT WIRING SCHEDULE



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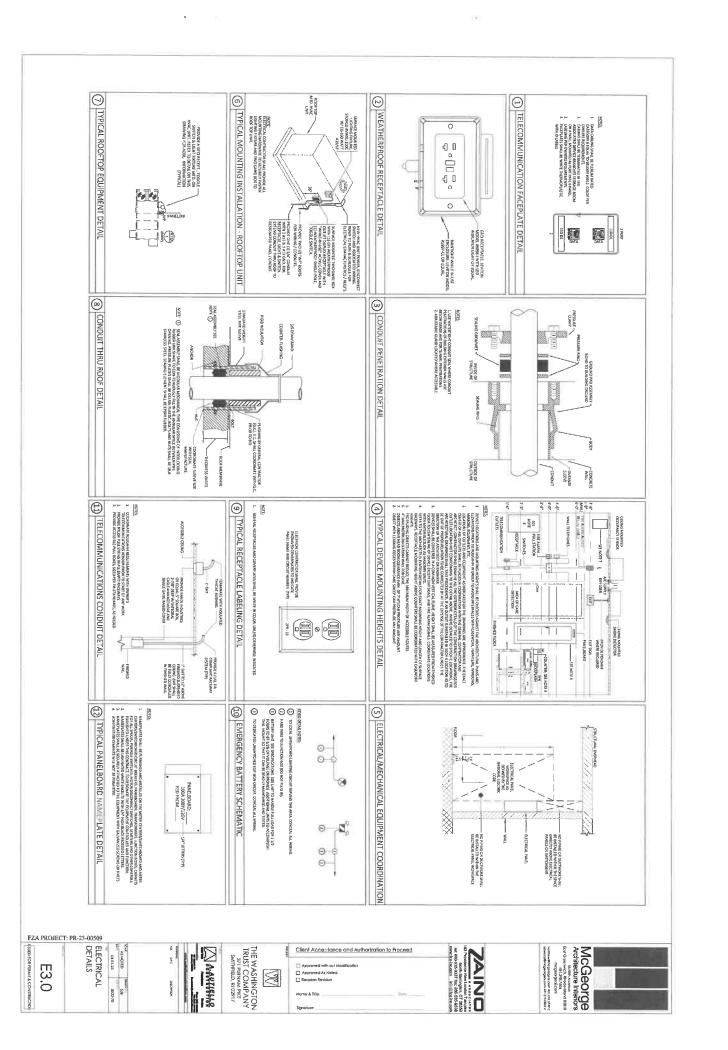
18 Fifth Avenue
foot Crammers, Brode Blood 2018.08

(a) 3,293.086

mcgeooped.com

FIRE STOPPING NOTES

PANELBOARD: WIDP



ELECTRICAL SPECIFICATIONS:

GERLEM, REGURANDES.

1. NOTIFICADE DE RÉMONDEMENT PER JAMANESULAT, DETALS AND LOCATION ÀS NOCIVED ON THE CONTINCT DOCUMENTS, RÉTISÉNE NOMBRE AND AND REPUBLIEMENT ACCIONNE, DESCRIPTON CE TRANSPORSOLUTES DE HEMANISTIC PROPRIETA L'ACCIONNE DE COMMANDES DE L'ACCIONNE DE

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LLS. HOSTING, SCAPFOLDING AND PLANKING.
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TO ROMAIN DORSILOND HEADER WALLES.

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2.1. FIRE ALARM SYSTEM; CT ADDITION AND MODIFICATION

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A. DIERE REPEACES SAUL IR SECTEMENTALISMO BACK GROUNDING FIFE ARTS 20 AMBRIS, 125 VOLTS. REFERENCIS SAUL IR BACKAND GIR WIND WINNEAUM FIFE DEMANALISMO BACK GROUNDING RELICAS AMMINISMOST, 125 VOLTS. REFERENCIS SAUL IR SECTEMENTISMO ZOAMBERS, 125 VOLTS. MINIMUM SIZE OF BOXES SHALL BE 4", 3-3/4" DEEP, ALL OUTLET

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CLEMBH, JANGTHEL AND TETT JE. AT THE COMPLETENCY OF THE WAS ALL PAST OF THE RESPANSITOR SHALL BE THE DUCKEN CLAMED. ALL EXCELS COURSERS CONSTITUTION, AND REPURENCY HER COMPLETES CLEMED OF GRANE, METAL CLITTINGS, BREWIGH HAVE HAVE ACCUMULATED DORN'S CONSTITUTION, AND

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3.2. GROUNDING AND BONDING METHODS IN ACCORDANCE WITH NEC CODE ARTICLE 250 AND LOCAL UTILITY COMPANY REGULATIONS.

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TERTIFICINE AMETATIS SHAL BE FLENISHED AND NETALLED ON PARLEDANES, TRANSFORMERS, LINCTEN, EDICK, CARNETS FOR ALL SPELM TURINS NOTICES, ANDER SECONNET SWITCHS, AND OTHER CONTROLS FRANCISHED LYRES FINE CONTROLT. TO DESIGNATE THE EQUIPMENT CONTROLS

. MAMÉPIATES SHALL BE LAMINATED WHITE BAKKLITE WITH 1,24" HIGH 8,4CX RECESSED LETTESS.
HAMÉPIATES SHALL BE LAMINATED WHITE BAKKLITE WITH GALWAGZED SCHEMS OR RIVETS
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FZA PROJECT: PR-23-00509 SPECIFICATIONS

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