

Town of Smithfield Zoning Board of Review

**64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039**

August 9, 2023

The Smithfield Zoning Board of Review will hold public hearings on Wednesday, August 9, 2023 at **6:00** PM, at the Smithfield Town Hall, 64 Farnum Pike, Smithfield, Rhode Island. All persons entitled to be heard will be heard for or against the granting of the following applications:

I Communications / Administration

The following Meeting Minutes will be considered, discussed, and acted on: June 7, 2023

22-11

Richard Almonte as applicant and Almonte Family Trust as owner of property located at 317 Old County Road, listed as Plat 51, Lot 59 seek an extension to a previously granted resolution to construct a carport.

II Public Hearings

A. Old Business

B. New Business

23-014

Richard and Ellen Fontaine as applicants and Fontaine Family Trust as owner of property located at 62 Burlingame Road, listed as Plat 50, Lot 57 seek a special use under § 3.9.D “Building Or Structure Nonconforming by Dimension, Addition and Enlargement”, 3.13.A “Special Use Permit For Expansion, Addition, Or Enlargement, Structure or Use of Structure”, 4.5 “Dimensional Relief by Special Use Permit” to construct an attached garage with living space in an R-80 district.

23-015

Justin and Desiree Vannostrand as applicants and owners of property located at 7 High View Drive, listed as Plat 45A, Lot 21 seek a variance to deviate from § 5.4.Table 1 “Dimensional Regulations” to construct an accessory family dwelling unit in an R - Medium district.

23-016

All Day Real Estate LLC as applicant and Jeff Anthony Properties, LLC as owner of property located at 313 Waterman Avenue, listed as Plat 26, Lot 48 seek a use variance to deviate from § 4.3.I.4 and 4.4.I.4 “Personal Service Establishments” to operate a gym/fitness center in an R-20 district.

23-017

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 as applicant and owner of property located as 400 George Washington Highway, listed as Plat 48, Lot 4C seeks variances to deviate from § 4.3.J.6 and 4.4.J.6 “Storage Facility not including Truck Terminal”, 9.4.8 Table 3 “Ego Land Uses” and 3.7 “Existence By Variance or Special Use Permit” to demolish the existing office building and construct a self-storage building in a Highway Commercial/ Economic Growth Overlay district.

23-018

The Washington Trust Company c/o Dennis Algiere as applicant and W/S Smithfield Associates LLC as owner of property located at 371 Putnam Pike, listed as Plat 43, Lot 21D seek a special use permit under § 4.3.G.7B and 4.4.G.7 “Bank Without Window Service” to renovate an existing building to operate a bank with no window service in a Commercial district.

III Deliberations

The following matters will be considered, discussed, and acted on for the relief requested and identified under Section II, Public Hearing: 22-11, 23-014, 23-015, 23-016, 23-017, 23-018,

IV Adjournment

AGENDA POSTED JULY 21, 2023

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager’s office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.



Smithfield Zoning Board of Review

Meeting Minutes

June 7, 2023

Time: 6:00 pm **Place:** Town Hall, 64 Farnum Pike

Members Present: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Members Absent: John Hunt
Richard Leveille

Others Present: Assistant Town Solicitor, David Ursillo
Zoning Board Clerk, Donna Corrao

Meeting session opened at 6:00 p.m.

COMMUNICATIONS/ADMINISTRATION

A) Approval of meeting minutes for May 3, 2023.

Motion to APPROVE the May 3, 2023 Minutes as Presented: Edward Civito

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting to deny the motion: None

The vote on the motion being 4 – 0, the motion passed.

NEW BUSINESS

Case: 23-007
Applicant/Owner: Michael Cotugno
Address: 149 Ridge Road
Plat/Lot: 42/112
Zoning District: R-Medium

Case Summary:

Michael Cotugno as applicant and owner of property located at 149 Ridge Road, listed as Plat 42, Lot 112 seeks a variance to deviate from §4.4.B.1.C “Residential Uses, Accessory Family Dwelling Unit” to construct an accessory family dwelling unit in an R - Medium district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Variances: Edward Civito

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Case: 23-008

Applicant/Owner: Diana Brennan and Matthew Stith

Address: 7 Orchard Avenue

Plat/Lot: 53/036

Zoning District: R-20

Case Summary:

Diana Brennan and Matthew Stith as applicants and owners of property located at 7 Orchard Avenue, listed as Plat 53, Lot 36 seek variances to deviate from § 4.4.A.4 “Animal Raising, Non-Commercial, Outdoor” and a special use permit under §4.3.A.4 and 4.4.A.4 “Animal Raising, Non-Commercial, Outdoor” to house hens in a mobile chicken coop/tractor in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to DENY the Request for Variances and Special Use Permit: Edward Civito

Motion seconded: Alt. Peter Libutti

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Case: 23-009

Applicant/Owner: Bellini Construction Co. Inc.

Address: 8 Sheffield Road

Plat/Lot: 44B/59

Zoning District: R-80

Case Summary:

Bellini Construction Co. Inc. as applicant and owner of property located at 8 Sheffield Road, listed as Plat 44B, Lot 59 seeks a variance to deviate from §5.4 Table 1 “Dimensional Regulations” to construct a single-family dwelling in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance with Conditions: Edward Civito

Motion seconded: Peter Libutti

Voting to approve the motion: Chairman S. James Busam
Edward Civito
Alt. Peter Libutti

Voting in Opposition: Vice Chair Linda Marcello

The vote on the motion being 3 – 1, the motion carried.

Case: 23-010

Applicant/Owner: J. Theodore Ray Living Trust

Address: 292 Waterman Avenue

Plat/Lot: 26/27

Zoning District: R-20

Case Summary:

J. Theodore Ray Living Trust as applicant and owner of property located at 292 Waterman Ave, listed as Plat 26, Lot 27 seeks a variance to deviate from §5.4 Table 1 “Dimensional Regulations” to create a new lot in an R-20 district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance as Applied: Vice Chair Linda Marcello

Motion seconded: Edward Civito

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Case: 23-011

Applicant: Bay Crane

Owner: LAR Associates, LLC.

Address: 115 Lydia Ann Road

Plat/Lot: 45/26

Zoning District: Industrial

Case Summary:

Bay Crane as applicant and LAR Associates, LLC as owner of property located at 115 Lydia Ann Road, listed as Plat 45, Lot 26 seek a variance to deviate from §5.4 Table 1 “Dimensional Regulations” to construct an addition in a Light Industrial district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Dimensional Variance with Conditions: Peter Libutti

Motion seconded: Vice Chair Linda Marcello

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello

Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Case: 23-012

Applicant: Sunn Builders, Inc.

Owner: Sunn Builders, Inc. and Clover Leaf Ret LLC.

Address: 0 Putnam Pike, 270 Putnam Pike, 0 Brush Street, and 280 Putnam Pike

Plat/Lot: 35/1, 1A, 1D, 2

Zoning District: Highway Commercial

Case Summary:

Sunn Builders, Inc. as applicant and Sunn Builders, Inc. and Clover Leaf Ret LLC as owners of property located at 0 Putnam Pike, 270 Putnam Pike, 0 Brush Street, and 280 Putnam Pike, listed as Plat 35 on Lots 1,1A, 1D and 2 seek a special use permit under §4.3.G.6 and 4.4.G.6 “Retail Business and Service, Automotive Washing”, 4.3.G.23 and 4.4.G.23 “Retail Sales 5,000 -40,000 sf GFA” and variances to deviate from §5.4 Table 1 “ Dimensional Regulations” , 8.5.A.2 “Village, Commercial, Highway Commercial, Planned Corporate, Planned Development and Industrial Signs”, 5.3.4 “Buffers” and 5.3.3 “Yards” to construct a commercial project with a car wash and retail stores in a Highway Commercial district.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Variances and Special Use Permit with Conditions:

Edward Civito

Motion seconded: Peter Libutti

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Case: 23-013

Applicant/Owner: Shadesh Holdings, LLC.

Address: 351 Douglas Pike

Plat/Lot: 42/19

Zoning District: Commercial

Case Summary:

Shadesh Holdings, LLC as applicant and owner of property located at 351 Douglas Pike, listed as Plat 42, Lot 19 seeks a special use permit under §4.3.G.3A and 4.4.G.3A “Automotive Filling, Convenience Retail” to operate a gas station with convenience store in a Commercial District.

Disposition:

The findings and conclusions of the Board are contained in a written resolution which has been, or will be, recorded in the Smithfield Land Evidence Records. A copy of the Resolution is available in the Building & Zoning Office, as well.

Motion to APPROVE the Request for Special Use Permit with Conditions: Vice Chair Linda Marcello

Motion seconded: Edward Civito

Voting to approve the motion: Chairman S. James Busam
Vice Chair Linda Marcello
Edward Civito
Alt. Peter Libutti

Voting in Opposition: None

The vote on the motion being 4 – 0, the motion carried.

Respectfully submitted,

Donna A. Corrao, Zoning Board Clerk

Karen Laboissonniere

From: Krina Almonte <rand3kays@gmail.com>
Sent: Monday, June 5, 2023 7:41 PM
To: Karen Laboissonniere
Subject: [EXTERNAL] Extension

Richard Almonte of 317 Old County Rd, Smithfield, is requesting an extension on his variance.
Thank you



TOWN OF SMIT ZONING BOARD OF REVIEW

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

Linda Marcello, Vice Chairman

OWNER/ APPLICANT: Richard Almonte, as applicant and Almonte Family Trust, as owner

DATE: June 1, 2022

FILE NO.: 22-11

A RESOLUTION GRANTING A SPECIAL USE PERMIT AND DIMENSIONAL VARIANCES AT ASSESSOR'S PLAT 51 LOT 59

WHEREAS, a meeting of the Smithfield Zoning Board of Review was held on June 1, 2022 wherein the instant application was considered;

WHEREAS, Almonte Family Trust, as owner and Richard Almonte, as applicant of a property located at 317 Old County Road, Smithfield, listed as Plat 51 Lot 59, located in an R-20 Zone, filed an application with the Smithfield Zoning Board of Review seeking a Special Use Permit under Section 3.13.A "Special Use for Expansion, Addition, or Enlargement," and dimensional variances to deviate from Section 5.4 Table 1 "Dimensional Regulations" and Section 5.5.5.G in order to construct a carport to the side of their property;

WHEREAS, a public hearing on this application was held by the Smithfield Zoning Board of Review at its June 1, 2022 meeting, after due and public notice as provided under the Smithfield Zoning Ordinance and the Rhode Island General Laws with the appropriate notices and return receipts being part of the record;

WHEREAS, all members of the Smithfield Zoning Board of Review viewed or had the opportunity to view the property before the public hearing;

WHEREAS, at the hearing all those who desired to be heard were heard and their testimony recorded by tape and/ or stenographic means;

WHEREAS, the Board accepts and incorporates into the record all documents submitted for application along with any accepted during the hearing including Exhibit 1 – The Town's Engineering Department Soil Erosion Approval with specific language regarding the sewer line;

WHEREAS, the Board accepts and incorporates into the record the stenographic or audio or video recording for which this hearing was conducted;

WHEREAS, the Smithfield Zoning Board of Review finds as fact that Richard Almonte appeared on his own behalf and after being duly sworn, testified that he wishes to construct a carport to the side of his house which would be to cover the stairs on the side of the house, and so he is able to park a car under it in order to stay out of the elements;

WHEREAS, it will be 16 feet wide, but 4 feet of it will be covering the stairs, thereby having room for one car at 12 feet wide, the carport would be 22 feet deep;

WHEREAS, since the property would be non-conforming, he needs a Special Use Permit;

WHEREAS, the relief sought is 6 feet of side yard setback relief and 7% relief from maximum lot coverage;

WHEREAS, the Board specifically discussed an issue regarding the storm water drain to the front of his property along with the Sanitary Sewer Easement for the storm drainage pipe extending either along his property line or through his property; the Board did not want any construction to effect the area where the storm drainage pipe is located nor restrict any utility or Town access to it;

WHEREAS, Mr. Almonte read into the record Exhibit 1 which addresses the storm drainage pipe and access to it along or on his property; such letter included specific restrictions; which Mr Almonte stated he agreed to and accepts;

WHEREAS, the Board was satisfied that the storm drain, the storm drainage pipe and the Sanitary Sewer easement for it will not be effected by the construction of this carport nor be restricted by the construction of the carport and that parameters are in place pursuant to Exhibit 1 in case it does;

WHEREAS, the hearing was opened to the public and there was not anyone who appeared to speak in favor of or against this application;

WHEREAS, without any further comment, the public hearing was closed;

WHEREBY, the Board finds and determine as facts, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:

a) a non-conforming structure may be added to or enlarged specifically by special use under Zoning Ordinance Article 3 – 3.13.A;

b) the Special Use meets all of the criteria set forth in the subsection of this Ordinance authorizing a Special Use as supported by the testimony submitted;

c) the granting of the Special Use Permit will not alter the general characteristics of the surrounding area or impair the intent or purpose of this Zoning Ordinance or Comprehensive Plan of the Town as this carport will be incorporated with the side of the house and continues to maintain a residential appearance and use as with the surrounding area;

and the Zoning Board has considered the following factors to the extent applicable in making this finding:

i) that ingress & egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe are supported by the testimony and viewing of the property whereby this carport does not change the existing driveway or access to and from the property to the roadway;

ii) that off street parking and loading areas, where required, with particular attention to the items set out in section (i) have been addresses as stated in section i above; and based upon this Board's granting a dimensional variance for the carport to exist on the property; and based upon the fact that the carport's use is to park a vehicle;

iii) required yards & open spaces have been considered – this element did not need to be considered;

iv) refuse and other services – the evidence for this item did not need to be considered;

v) utilities – applicable utilities are in the area for water and sewer; and the Board conditions the Special Use on Exhibit 1 which addresses the Sanitary Sewer easement, and the owner and applicant understand and agree that the carport cannot effect the utility easement, the storm drainage pipe, or restrict the access to any of it;

vi) screening & buffering with reference to type – the Board finds that this was not an issue;

vii) signs – the Board finds that this does not need to be addressed at this time;

viii) general compatibility – the board finds that the owner and applicant intend to keep this carport consistent with the surrounding residential area;

ix) protection of sensitive features – the Board finds that this did not need to be addressed;

x) the Use will not create or exceed performance standards – the Board does not find this to be an issue;

xi) impact fees to be paid;

xii) trips per acre – the Board finds that this did not need to be considered;

WHEREBY FURTHER, the Board finds and determine as facts, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:

1. The hardships from which the applicant seeks relief is due to the unique characteristics of the subject land and structure and is not due to the general character of the surrounding area and is not due to the physical or economic disability of the applicant which is supported by the following findings

a) the property has minimal area to place any structure to the side yard and the area has a Sanitary Sewer easement in the area of the driveway/ carport area;

2. The hardships are not the result of any prior action of the applicant and do not result primarily from the desire of the applicant to realize greater financial gain which is supported by the following findings;

a) the evidence was established that the carport is for the applicant's vehicle and is intended to keep the vehicle and the applicant from the elements; and such personal use demonstrates that the need is not primarily greater financial gain;

3. The granting of the requested dimensional variance will not alter the general character of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town which is supported by the following findings;

a) the carport will be in the same area as the driveway, in the same area where cars park now, and the carport is a reasonable extension for a residential property in this area;

4. The relief requested and to be granted is the least relief necessary in that the Board finds the evidence shows the carport will only extend to the side of the yard far enough to allow one car and cover the stairs to the house; and

5. The Board finds and determines, in addition to the above, that evidence has been entered into the record of the proceeding, both documentary and testimonial, showing that:

a. The hardship that would be suffered by the applicant and owner of the subject property, if the dimensional variances were not granted, would amount to more than mere inconvenience, in that the owners would have limited opportunity to place any structure on the side of their house for vehicular coverage as the width would be a challenge to fit a vehicle without some relief from this Board;

NOW THEREFORE BE IT RESOLVED by unanimous vote of the Smithfield Zoning Board of Review that the application by the Owners and Applicant is hereby APPROVED in that the Owner and Applicant are GRANTED a Special Use Permit to add or enlarge their non-conforming Lot and are GRANTED dimensional variances of 6 feet from the required side yard setback of 10 feet in an R-20 Zone under Section 5.3.3.G and 7% relief from the requirement of maximum Lot coverage of 25% in order to construct a carport as presented in the application and SUBEJCT TO AND CONDITIONED UPON

1) any and all conditions placed upon the Owner and Applicant as stated in Exhibit 1 from the Town Engineering Department so that the Sanitary Sewer easement and the storm drain and its drainage pipe are not effected by or restricted by the construction and placement of the carport;

BE IT FURTHER RESOLVED that the Building Official of the Town of Smithfield is hereby authorized to issue the necessary permits and to enforce the terms and conditions of this Resolution.

BY ORDER OF THE SMITHFIELD
ZONING BOARD OF REVIEW


S. James Busam, Chairman

APPLICATION APPROVED
BY A VOTE OF 5 – 0

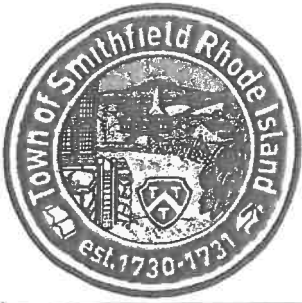
FOR: Chairman S. James Busam, Linda Marcello, Ed Civito, John Hunt, Richard
Leveille

AGAINST: None

ABSTAINED: None

THIS DECISION WILL BE PUBLICALLY POSTED IN
A VISIBLE LOCATION IN THE TOWN HALL FOR
A PERIOD OF TWENTY DAYS COMMENCING

June 9, 2022



Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File # 23-15 Rec'd by: _____

FILING FEES Application fee plus total postage cost for abutters' mailing.

Amt. Paid: \$ _____ Amt. Due \$ _____ Date Fee Paid: _____

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING;

- ☐ SPECIAL USE, as provided in Section 5.0 of the ZONING ORDINANCE.
- ☒ VARIANCE from the application of a requirement(s) of the ZONING ORDINANCE.
- ☐ APPEAL of Building Official, Planning Board Decision, or Zoning enforcement agency.
- ☐ EXTENSION APPLICATION for recorded decision. Year 1 ☐ Year 2 ☐ Year 3 ☐

APPLICANT: Justin + Desiree Vannostrand

ADDRESS: 7 High View Drive

PHONE: 508-728-5128, 401-837-4518

Smithfield RI 02917

OWNER: Justin + Desiree Vannostrand

ADDRESS: 7 High View Drive

PHONE: 508-728-5128, 401-837-4518

Smithfield, RI

LESSEE/PURCHASER: _____

ADDRESS: _____

existing/proposed

PHONE: _____

- Location of Property** Street Address: 7 High View Drive, Smithfield Pole # _____
Assessor Plat No. 45; Assessor Lot No. 21
- Size of Lot** Dimensions: Width 100 feet Depth: 200 Feet Total Area: _____ Acres (Sq. Ft.) 20,000
- Zoning Designations** Current Zoning District Classification of Property: R-Med.

4. Ownership Tenure

DATE OF PURCHASE of the above stated property by the CURRENT OWNER: 10/17/2019

Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental purposes? Yes ☐ No ☒ Does Not Apply ☐

5. Developmental Status and Proposal

A. Existing Developmental State

Are there any buildings on the property at present: Yes ☒ No ☐

If YES, how many buildings? 1

IDENTIFY the Size and Use of each building **:

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	<u>Single family</u>	<u>2 story</u>	<u>2,050</u>	<u>home</u>
(2)	_____	_____	_____	_____
(3)	_____	_____	_____	_____

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building Official? Yes ☐ No ☒ Does Not Apply ☐

If YES, has a Building Permit been refused? Yes ☐ No ☒

6. SPECIAL USE PERMIT

(Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.

- A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

- C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.

7. VARIANCE

(Complete this Section only if Box No. 2 of the Introduction is checked).

- A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.

We want to construct a 700 square foot ADU for my parents.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested.

Table 5.4 Dimensional regulations to construct a 5 feet relief from side yard set back. We ARE Asking For 5 FEET RELIEF FROM SIDE YARD SET BACK

- C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

We will follow all requirements in Section 10-8 C.1.

8. **NATURE OF APPEAL** (Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance: _____, 20____

2. Basis for Appeal (Cite applicable provisions of ordinance.)

B. Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

C. Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondence, plans, and written decision pertaining to the appeal.)



Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

I/We, the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

RESPECTFULLY SUBMITTED,

Justin VanNostrand & Desiree VanNostrand

Owner's Name Printed

 & 

Owner's Signature

Justin VanNostrand & Desiree VanNostrand

Applicant's Name Printed

 & 

Applicant's Signature

AGENT/ATTORNEY: _____

ADDRESS: _____

PHONE: _____

REPRESENTING: _____

DATE: _____

NOTE: One original signed application and eleven copies must be submitted.

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. Three (3) sets of abutters printed on mailing labels.

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

PUBLIC HEARING REQUIREMENT

No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire **one (1) year** from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY

Date Notices Sent to
Respective Property Owners: _____

Date of Newspaper Notice: _____

Newspaper _____

NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE FIELD. THE CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO EXCAVATION AND SHALL NOTIFY LOCAL UTILITY COMPANIES BEFORE COMMENCEMENT OF WORK TO REQUEST TRACKED LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES AS REQUESTED SHOULD THERE BE A CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES AS REQUESTED SHOULD THERE BE A CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. HORIZONTAL & VERTICAL DATA ON THIS PLAN WERE OBTAINED BY FIELD SURVEY.
4. NO STRUTTED PARKING AREAS EXIST ON THIS PROPERTY.
5. THIS FOUNDATION AS SHOWN REFLECTS THE DIMENSIONS PROVIDED TO MARSH & LONG SURVEYING INC. LOCATIONS OF FOUNDATION STAIRWAYS, OVERHANGS, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES AS REQUESTED SHOULD THERE BE A CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REFERENCE PLANS:

1. REPEAT OF HIGH VIEW ESTATES SECTION A SMITHFIELD, RHODE ISLAND OWNED BY ACTIVA ASSOCIATES DESIGNED BY AMERICAN ENGINEERING CORP. SCALE: 1" = 100' OCT. 1974 ZONED R 30 AP 45 LOT 62

DESIGN PLANS:

- *ACCESSORY DWELLING UNIT ADDITION TO RESIDENCE OF JUSTIN AND DESIREE VANNOSTRAND 7 HIGHVIEW DRIVE SMITHFIELD, RI - BY CHRISTOPHER BLEYER RESIDENTIAL DESIGNER OF 256 PARHAM PIKE SMITHFIELD, RI 02917, (401) 632-9628



- LEGEND**
- EXISTING CONTOUR
 - WATER SHUT-OFF VALVE
 - TOP OF WALL
 - BY BOTTOM OF WALL
 - SPOT ELEVATION
 - EXISTING ARBORVITAE

ZONING:

RU
MIN. AREA= 20,000 S.F.
LOT WIDTH= 100 FT.
MIN. FRONT YARD= 25 FT.
MIN. SIDE YARD= 20 FT.
MIN. REAR YARD= 40 FT.
(SEE REGULATIONS FOR ADDITIONAL INF.)

SMITHFIELD, RI
PLOT PLAN
FOR PERMITTING
DESIREE AND JUSTIN
VANNOSTRAND
AP 45 LOT 21
SIGHTER DRIVE
ZONE = R-MED
12/29/22
BY

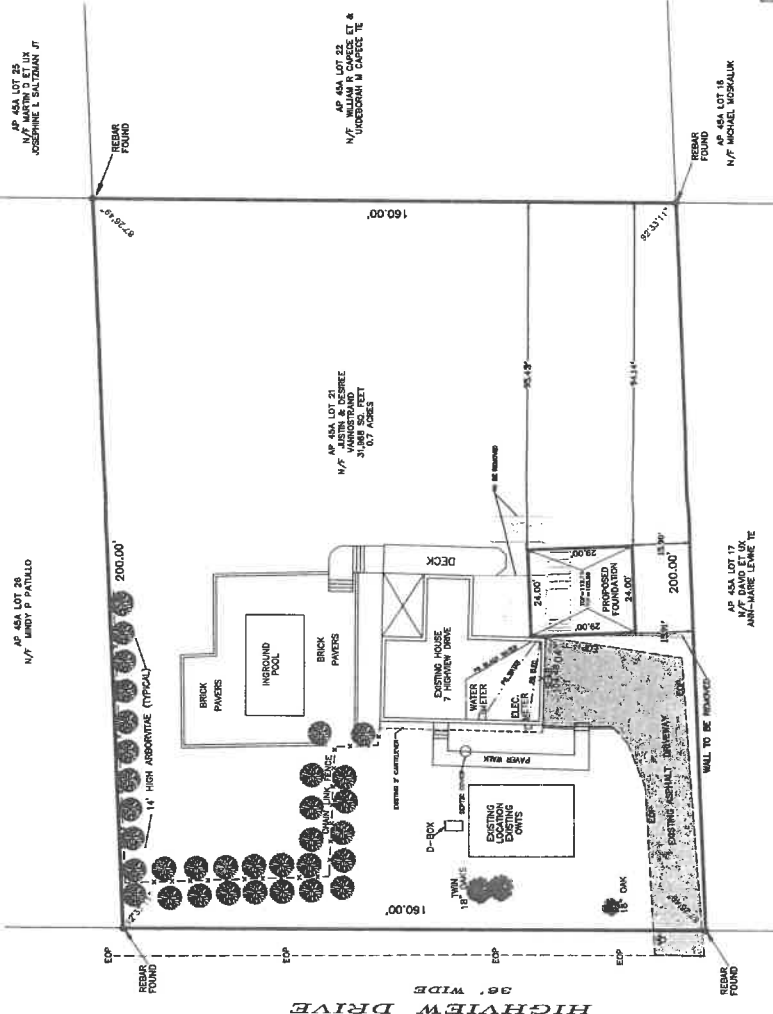
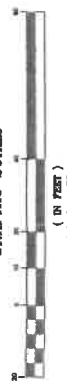


450 GEO. WASH. HWY. SMITHFIELD, RI
(401) 832-0000

NO.	DATE	DESCRIPTION	BY

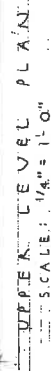
THIS PLAN TO BE SUBMITTED BY THE FOLLOWING:
ARCHITECT: [Name]

GRAPHIC SCALE



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE GENERAL LAND SURVEYING ACT, CHAPTER 11-2, OF THE R.I. STATUTES, AND THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE JANUARY 2019.
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
EXISTING CONDITIONS SURVEY FOR RESIDENTIAL CLASS 1
PERFORMING SURVEY ACCORDING TO 2

STEPHEN J. LONG PLS. 1930
CORA SP-1000



CHRISTOPHER BLEYER, RESIDENTIAL DESIGNER,
756 FAUNO FLEETSMITH FIELD RD. 2
02917 ~ 401-732-9625
ACCESSORY DWELLING UNIT ADDITION TO RESIDENCE
OF JUSTIN AND DEBBIE VANNOstrand 9
THE VIEW DRIVE, SMITHFIELD, R.I. 0293
SCALE: 1/4" = 1'-0"
T.D-13 SHEET

UNITED STATES GOVERNMENT
OFFICE OF THE SECRETARY OF DEFENSE
WASHINGTON, D.C.

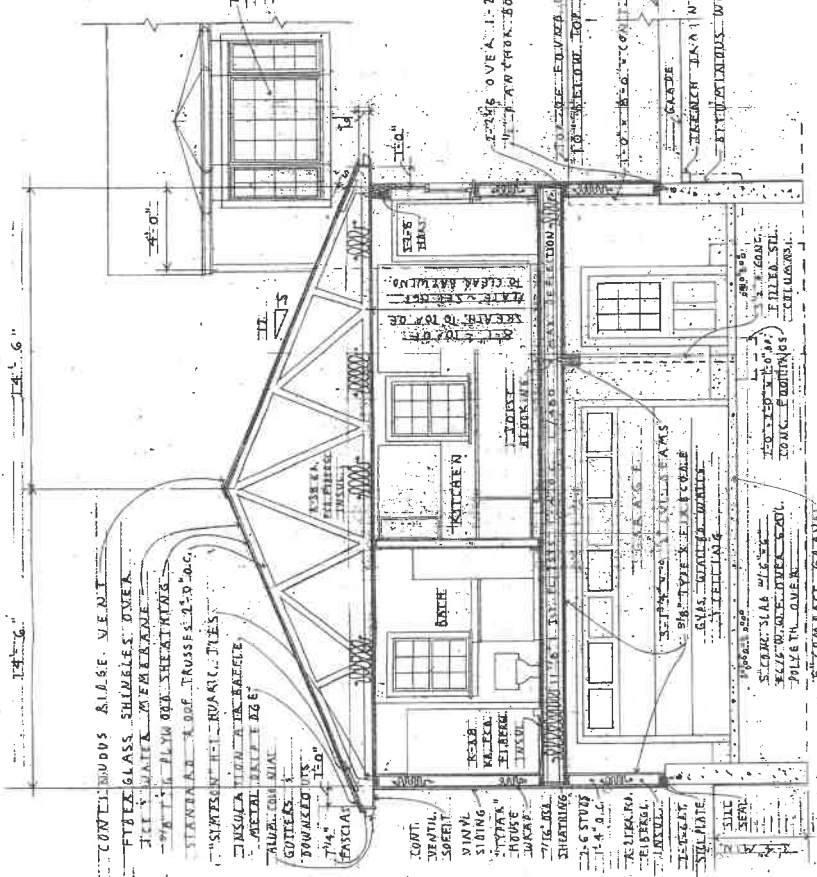
SCALE: 1/4" = 1'-0"

ACCESSORY DWELLING UNIT ADDITION TO RESIDENCE.
OF JUSTIN AND DESAEE VANNOSTAND.
HIGHVIEW DRIVE, SMITHFIELD, R.I.

SHEET 2 OF 3

WINDOW SCHEDULE			
NO.	TYPE / SYMBOL	ASSEMBLY	REMARKS
1	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
2	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
3	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
4	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
5	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
6	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
7	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
8	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
9	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"
10	DOUBLE HUNG	1-1/2" x 1-1/2"	1-1/2" x 1-1/2"

WINDOW DESIGNATIONS ARE "HARVEY"



1. CROSS SECTION SHEET 1 OF 1

CHRISTOPHER BIEBER - ARCHITECT

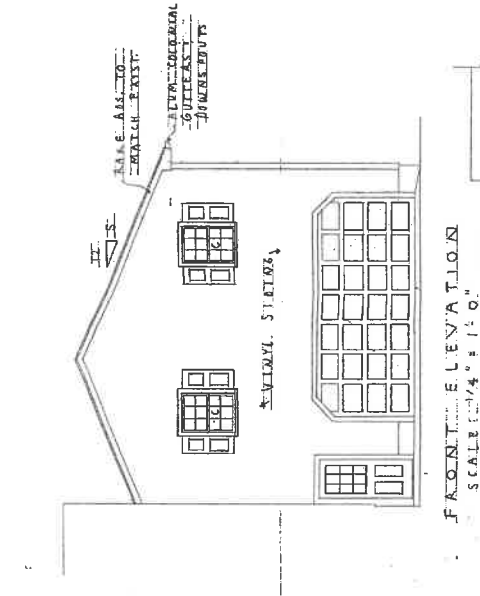
255 PARKWAY DRIVE, SMITHFIELD, R.I.

401-237-9678

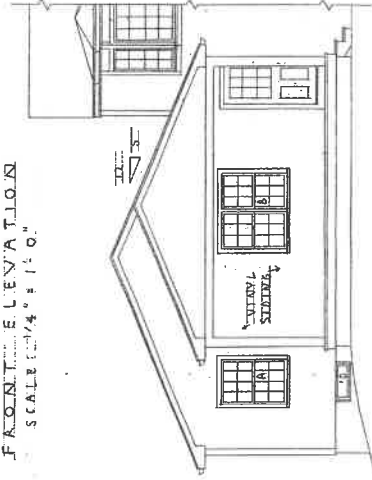
01911

7-11-13

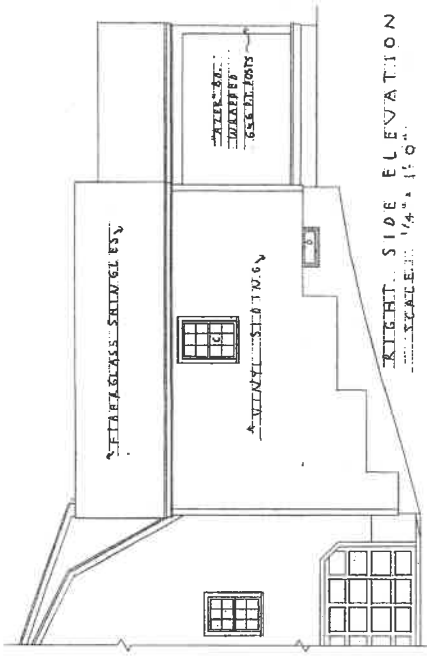
SHEET 1 OF 1



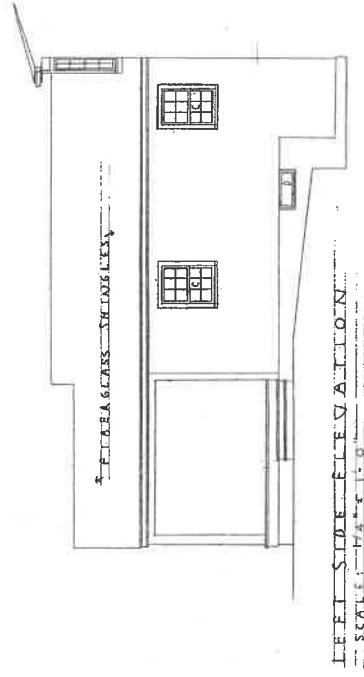
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CHRISTOPHER BUEYER ARCHITECTURAL DESIGNER
156 FAAMUM PIKE, SMITH FIELD, S.L. 02917
02917 ~ 301-232-9628
ACCESSORY DWELLING UNIT ADDITION TO RESIDENCE OF
JUSTIN AND DESIREE VAN NOSTRAND
1 HIGHVIEW DRIVE, SMITHFIELD, R.I.
25-11-23 SHEET 1 OF 3

7 HIGHVIEW DRIVE



Property Information
Property ID 5675
Location 7 HIGHVIEW DR
Owner VANNOSTRAND JUSTIN



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Smithfield, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/11/2021
Data updated 6/11/2021

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Abutters Report

Abutters

<u>REM ACCT NUM</u>	<u>REM OWN NAME</u>	<u>REM PRCL LOCN</u>
18-1246-98	GOLONKA JASON A	4 HIGHVIEW DR
13-1638-24	MCDUFF DAVID P ET UX	6 HIGHVIEW DR
04-1935-00	DINGLEY FAMILY TRUST	8 HIGHVIEW DR
16-1622-97	PFEIFFER DARYL M ET UX	10 HIGHVIEW DR
12-1094-65	LAWRENCE PETER A ET UX	12 HIGHVIEW DR
16-0623-81	PARRISH FAMILY TRUST	18 MAUREEN DR
13-3262-66	MOSKALUK MICHAEL	20 MAUREEN DR
03-0622-02	CAPECE WILLIAM R ET UX	22 MAUREEN DR
19-0250-00	SALTZMAN MARTIN D ET UX	24 MAUREEN DR
01-1355-00	ARGENIO ANDREW J JR ET UX	3 SHEILA LANE
12-1443-19	DIGGLE AARON	3 HIGHVIEW DR
12-1680-00	LEVINE DAVID ET UX	5 HIGHVIEW DR
12-2071-50	VANNOSTRAND JUSTIN	7 HIGHVIEW DR
14-0165-03	PATULLO MINDY P	9 HIGHVIEW DR
07-1346-42	GOLATO LIVING TRUST	1 SHEILA LANE

GOLONKA JASON AGOLONKA SHANNON
4 HIGHVIEW DR
SMITHFIELD, RI 02917

DIGGLE AARONDIGGLE LAUREN
3 HIGHVIEW DR
SMITHFIELD, RI 02917

PARRISH FAMILY TRUSTPARRISH ERIC G & ABIGAIL
S TRUSTEES
18 MAUREEN DR
SMITHFIELD, RI 02917

MOSKALUK MICHAEL
20 MAUREEN DRIVE
SMITHFIELD, RI 02917

LEVINE DAVID ET UXANN-MARIE TE
5 HIGHVIEW DRIVE
ESMOND, RI 02917

MCDUFF DAVID P ET UXLESLIE TE
6 HIGHVIEW DRIVE
SMITHFIELD, RI 02917

DINGLEY FAMILY TRUSTC/O DAVID B & PHYLLIS
DINGLEY L/E
8 HIGHVIEW DRIVE
SMITHFIELD, RI 02917

CAPECE WILLIAM R ET UXDEBORAH M TE
22 MAUREEN DR
ESMOND, RI 02917

SALTZMAN MARTIN D ET UXJOSEPHINE L JT
24 MAUREEN DR
ESMOND, RI 02917

PATULLO MINDY P
9 HIGHVIEW DR
SMITHFIELD, RI 02917

PFEIFFER DARYL M ET UXRENEE L TE
10 HIGHVIEW DR
SMITHFIELD, RI 02917

LAWRENCE PETER A ET UXTAMMI A TE
12 HIGHVIEW DR
SMITHFIELD, RI 02917

GOLATO LIVING TRUSTGOLATO JOHN A & LORI A
TRUSTEES
1 SHEILA LANE
SMITHFIELD, RI 02917

ARGENIO ANDREW J JR ET UXANNA C
3 SHEILA LANE
ESMOND, RI 02917



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

July 26, 2023

Justin and Desiree Vannostrand as applicants and owners of property located at 7 High View Drive, listed as Plat 45A, Lot 21 seek a variance to deviate from § 5.4. Table 1 “Dimensional Regulations” to construct an accessory family dwelling unit in an R - Medium district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at **6:00 PM**, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam
Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.....

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield’s Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager’s office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.



Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File # 23-16 Rec'd by: _____

FILING FEES Application fee plus total postage cost for abutters' mailing.

Amt. Paid: \$ _____ Amt. Due \$ _____ Date Fee Paid: _____

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING;

- ☐ **SPECIAL USE**, as provided in Section 5.0 of the ZONING ORDINANCE.
- ☒ **VARIANCE** from the application of a requirement(s) of the ZONING ORDINANCE.
- ☐ **APPEAL** of Building Official, Planning Board Decision, or Zoning enforcement agency.
- ☐ **EXTENSION APPLICATION** for recorded decision. Year 1 ☐ Year 2 ☐ Year 3 ☐

APPLICANT: All Day Real Estate LLC

ADDRESS: 268 Albion Road

PHONE: (818) 747-5254

Lincoln, Rhode Island 02865

OWNER: Jeff Anthony Properties, LLC

ADDRESS: 1525 Mineral Spring Avenue

PHONE: (401) 419-1007

North Providence, Rhode Island 02904

LESSEE/PURCHASER: All Day Real Estate LLC
existing/proposed

ADDRESS: 268 Albion Road

PHONE: (818) 747-5254

Lincoln, Rhode Island 02865

- Location of Property** Street Address: 313 Waterman Avenue Pole # _____
Assessor Plat No. 26; Assessor Lot No. 048;
- Size of Lot** Dimensions: Width 200' Depth: 200' Total Area: .92 Acres Sq. Ft. _____
- Zoning Designations** Current Zoning District Classification of Property: R-20
- Ownership Tenure**

DATE of PURCHASE of the above stated property by the CURRENT OWNER: May 10, 2022

Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental purposes? Yes ☒ No ☐ Does Not Apply ☐

5. Developmental Status and Proposal

A. Existing Developmental State

Are there any buildings on the property at present: Yes ☒ No ☐

If YES, how many buildings? 2

IDENTIFY the Size and Use of each building **:

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	Wood Frame	20'	4200	Warehouse
(2)	Woof Frame	20'	1390	Storage
(3)				

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building

Official? Yes ☐ No ☒ Does Not Apply ☐

If YES, has a Building Permit been refused? Yes ☐ No ☐

6. SPECIAL USE PERMIT

(Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.

- A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

- C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.

7. VARIANCE

(Complete this Section only if Box No. 2 of the Introduction is checked).

- A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.

Applicant seeks a Use Variance to convert an existing vacant plumbing supply warehouse into a gym/fitness center.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested.

Article 4.3 - Land Use Table- does not allow a fitness center in a R-20 zone thereby necessitating the requested variance.

- C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land. The hardship is not the result of any prior action of the Applicant or Owner and does not result primarily from the desire of the Applicant to realize greater financial gain. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town. The relief to be granted is the least relief necessary. The subject property cannot yield beneficial use if it is required to conform to the provisions of the Zoning Ordinance.

8. **NATURE OF APPEAL** (Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance: _____, 20____

2. Basis for Appeal (Cite applicable provisions of ordinance.)

B. Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)

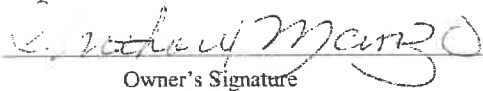
Basis for Appeal (Cite applicable ordinance provisions and any other data in support of appeal.)

C. Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondence, plans, and written decision pertaining to the appeal.)

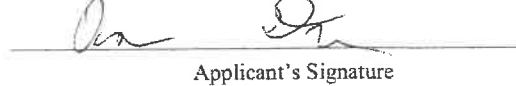
Basis for Appeal (Cite applicable ordinance provisions and any other data in support of appeal.)

I/We, the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

JEFF ANTHONY PROPERTIES, LLC
by: ANTHONY MANZO
Owner's Name Printed


Owner's Signature

All Day Real Estate - LLC
Applicant's Name Printed


Applicant's Signature

AGENT/ATTORNEY: Timothy F. Kane

ADDRESS: 627 Putnam Pike

Greenville, RI 02828

PHONE: (401) 949-2228

REPRESENTING: Applicant

DATE: May 24, 2023

NOTE: *One original signed application and eleven copies must be submitted.*

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. **Three (3) sets of abutters printed on mailing labels.**

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

PUBLIC HEARING REQUIREMENT

No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

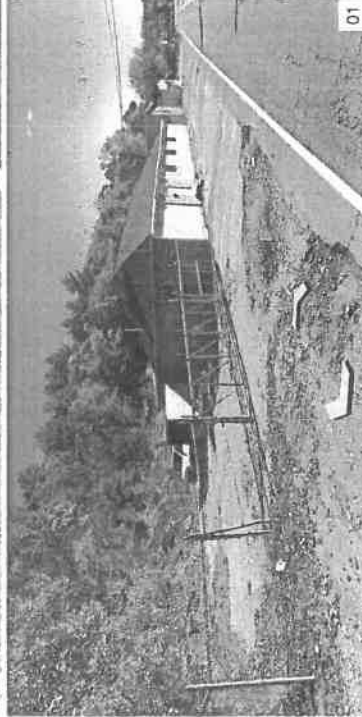
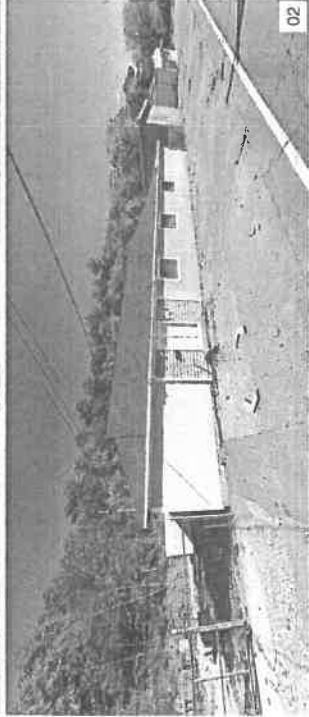
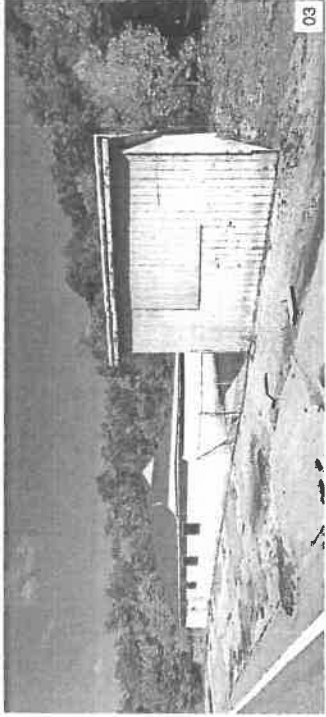
A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire **one (1) year** from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY

Date Notices Sent to
Respective Property Owners: _____

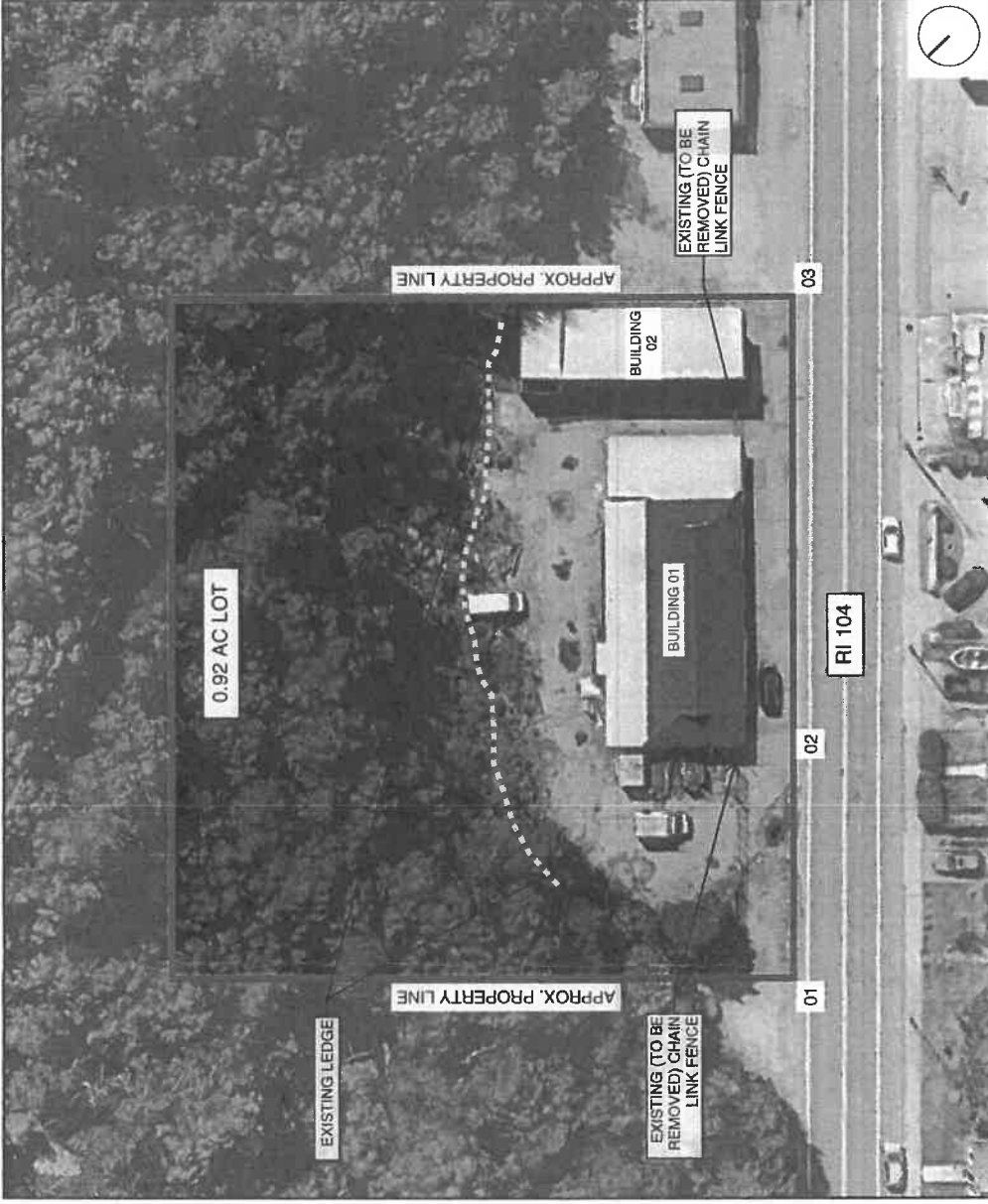
Date of Newspaper Notice: _____

Newspaper _____



EXISTING SITE PHOTOS

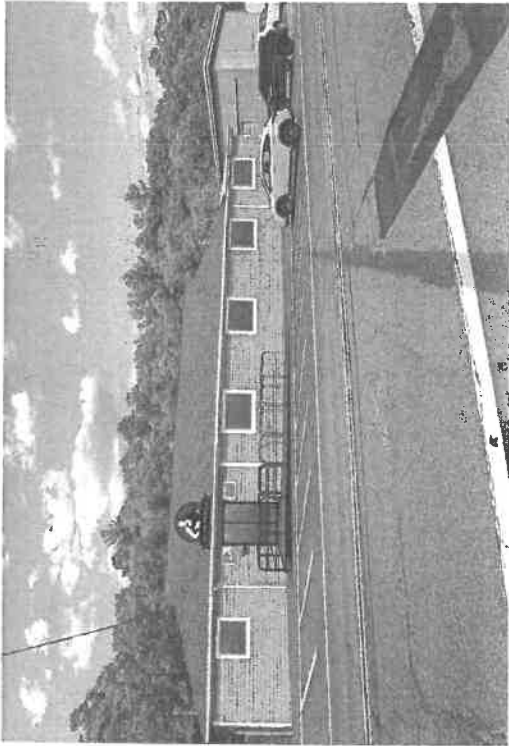
N/A



EXISTING DIAGRAMMATIC SITE PLAN

NOT TO SCALE

313 WATERMAN AVENUE
Smithfield, RI 02917



SCHEMATIC EXTERIOR RENDER

N/A

PROPOSED INFORMATION:

(OWNER TO MAINTAIN ANY/ALL REGULATIONS LAID OUT IN GOVERNORS COMMISSION ON DISABILITIES ACCESSIBILITY REQUIREMENTS & ALL ADA GUIDELINES)

PARKING:

TOTAL NUMBER OF ADA SPACES REQUIRED:

REQUIRED: 1 ADA SPOT (1-25 SPACES)

PROVIDED: 3 ADA SPOTS

24 NEW PARKING SPACES

3 NEW ADA PARKING SPACES

27 TOTAL PARKING SPACES PROVIDED

DIMENSIONS:

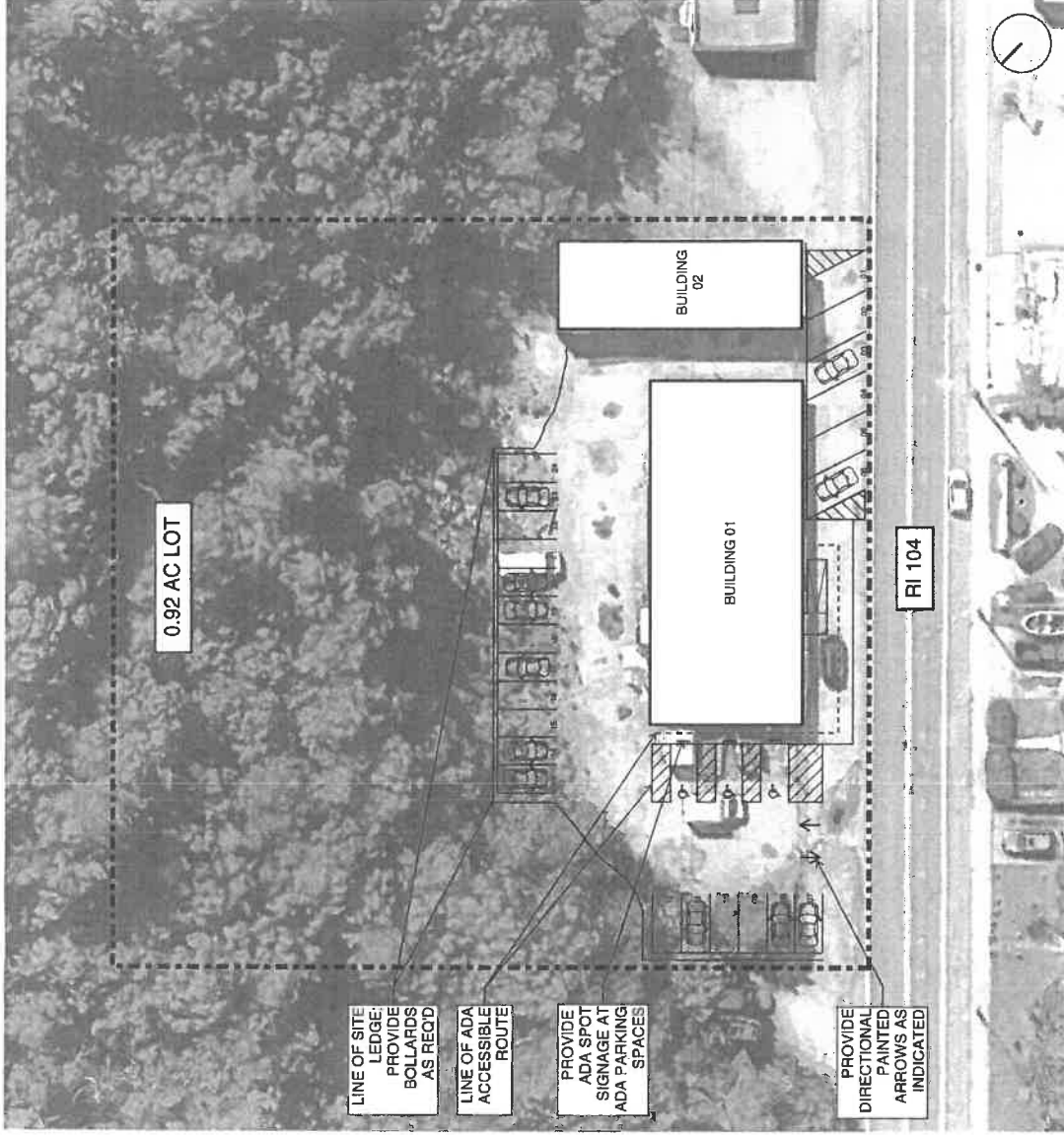
PARKING SPACES (INCLUDING ADA) TO BE MINIMUM 96" IN WIDTH.

ACCESSIBLE ROUTE BETWEEN ADA SPACES TO BE MINIMUM 60".

ACCESSIBLE ROUTE AT HEAD OF PARKING SPACES TO BE PROVIDED.

PROPOSED SITE INFORMATION

N/A



PROPOSED DIAGRAMMATIC SITE PLAN

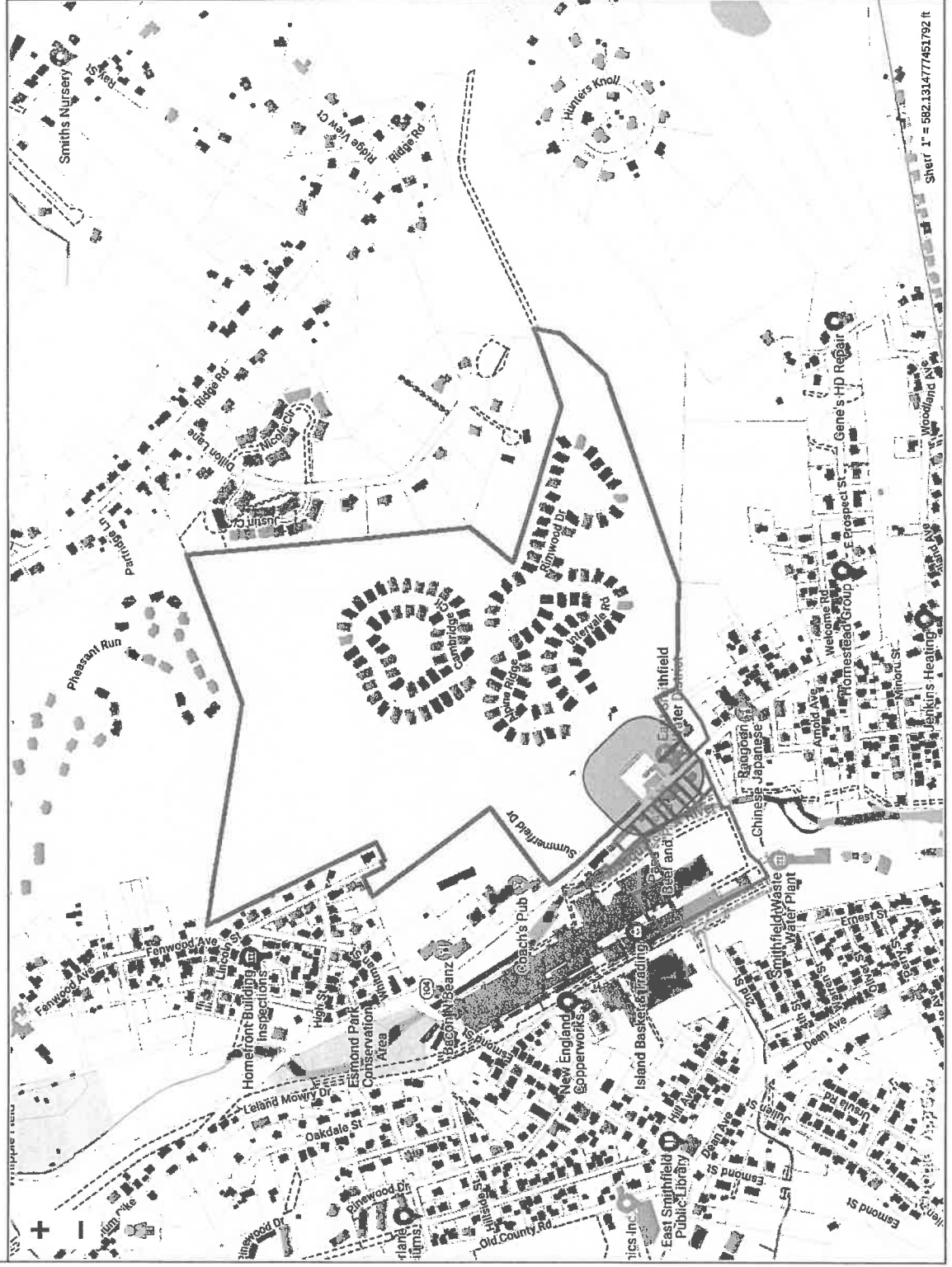
NOT TO SCALE

313 WATERMAN AVENUE

Smithfield, RI 02917



313 WATERMAN AVE



Property Information
Property ID 2617
Location 313 WATERMAN AVE
Owner JEFF ANTHONY PROPERTIES LLC



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Smithfield, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/11/2021
Data updated 6/11/2021

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Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

July 26, 2023

All Day Real Estate LLC as applicant and Jeff Anthony Properties, LLC as owner of property located at 313 Waterman Avenue, listed as Plat 26, Lot 48 seek a use variance to deviate from § 4.3.I.4 and 4.4.I.4 “ Personal Service Establishments” to operate a gym/fitness center in an R-20 district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at **6:00 PM**, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam
Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.....

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield’s Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager’s office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.

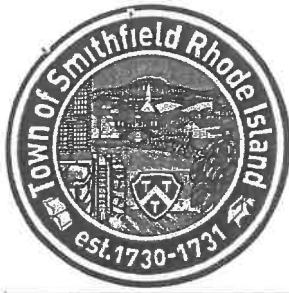
Abutters Report

Abutters

<u>REM ACCT NUM</u>	<u>REM OWN NAME</u>	<u>REM PRCL LOCN</u>
13-3517-51	MURPHY MICHAEL T ET UX	324 WATERMAN AVE
06-1026-16	ANDREWS BARBARA J	322 WATERMAN AVE
20-0732-20	THURLEY WILLIAM J ET UX	320 WATERMAN AVE
06-0610-37	COSTA KAYLA E	318 WATERMAN AVE
03-1530-00	DILEONARDO STEVEN DOMENIC	316 WATERMAN AVE
01-0644-07	ALMUHTASEB SAMIR S	314 WATERMAN AVE
13-3517-50	MURPHY MICHAEL T ET UX	312 WATERMAN AVE
13-3517-48	MURPHY MICHAEL T ET UX	308 WATERMAN AVE
03-2729-00	JEFF ANTHONY PROPERTIES L	313 WATERMAN AVE
37-0700-05	GRIFFIN PROPERTY MANAGEMEN	307 WATERMAN AVE
07-1531-65	GOULD BRIAN T ET AL	305 WATERMAN AVE
04-1627-49	LACOSTE DENISE J	1 INTERVALE RD
01-1081-05	ANTHONY ROBERT F ET UX	3 INTERVALE RD
14-0738-04	NOTARDONATO REBECCA A	5 INTERVALE RD
18-1223-50	KANE DAVID A	7 INTERVALE RD
04-1801-79	DICKSON ERICA B	9 INTERVALE RD
19-2235-00	SNYDER DONNA L DECL OF TR	11 INTERVALE RD
06-0773-71	FORCHIONE JAMES J	13 INTERVALE RD
03-3549-64	COSTA FAMILY IRREVOCABLE	15 INTERVALE RD
04-2942-14	MARCEL G & MICHELLE T DUM	17 INTERVALE RD
12-1492-80	LEONARD FRANK V ET UX	19 INTERVALE RD
20-1296-50	TURMELL JOSEPH	21 INTERVALE RD
26-0124-24	ZISK FAMILY TRUST	23 INTERVALE RD
20-0369-23	PESARE LAURA I REVOC LIVI	25 INTERVALE RD
13-0389-01	MALOOF RONALD W JR ET UX	27 INTERVALE RD
20-0674-98	THORNLEY WILLIAM R ET UX	11 RIMWOOD DR
05-0147-69	EICHNER RICHARD D ET UX	13 RIMWOOD DR
16-2472-92	POTENZA MARSHA	15 RIMWOOD DR
13-0437-60	LAWRENCE J MANCINI TRUST	17 RIMWOOD DR
06-0926-59	FISHBEIN STANLEY H LIVING	19 RIMWOOD DR
26-0058-02	ZANNINI ALFRED ET UX	21 RIMWOOD DR
13-0508-30	MANGIARELLI RALPH JR REVO	23 RIMWOOD DR
02-0377-05	BARBOUR BRIAN M ET UX	25 RIMWOOD DR
18-1441-50	ROMOLI MICHAEL P ET UX	27 RIMWOOD DR
13-3403-50	MULBERRY FAMILY REV LIV T	29 RIMWOOD DR
11-1150-00	KURECK GERALDINE J L/E	31 RIMWOOD DR
12-1864-09	LEONA LIPET REVOCABLE TRU	33 RIMWOOD DR
19-2493-34	SPIEGLER MICHAEL D DECL O	35 RIMWOOD DR
13-0910-04	BOFFA JAMES E II	32 RIMWOOD DR
19-0453-44	FURTADO JEFFREY J	30 RIMWOOD DR
08-0777-25	HANN DOUGLAS C	28 RIMWOOD DR
11-1100-02	KRUMWIEDE TIMOTHY G	26 RIMWOOD DR
13-0603-12	MARANDOLA ROBERT A ET UX	24 RIMWOOD DR
07-1454-44	GORGONE RAYMOND A ET UX	22 RIMWOOD DR
02-0503-84	BARRON MARY T IRREVOCABLE	20 RIMWOOD DR
16-1148-75	PELOSI RICHARD A & DENISE	18 RIMWOOD DR
04-1779-90	DICHIARO ROBERT ET UX	16 RIMWOOD DR
04-2088-54	RICCI DAVID P	14 RIMWOOD DR
16-0438-67	ALVES MARIA FERNANDES MAR	12 RIMWOOD DR
12-2118-67	LOVELY DENNIS J ET UX	10 RIMWOOD DR

18-1544-94	ROSS STEFAN LIV TR AGMN	8 RIMWOOD DR
04-0160-88	DAMBRA LINDA A	6 RIMWOOD DR
03-3580-50	COSTELLO MARY	4 RIMWOOD DR
19-0166-38	ST PIERRE FAMILY TRUST	2 RIMWOOD DR
20-0004-23	TRUSZKOWSKI FAMILY TRUST	1 CAMBRIDGE CIRCLE
10-0034-14	JALBERT MARGARET M REV TR	3 CAMBRIDGE CIRCLE
20-6547-75	KELLY FAMILY INCOME-ONLY	5 CAMBRIDGE CIRCLE
03-2704-50	MURPHY PAUL	7 CAMBRIDGE CIRCLE
11-0156-74	TRASK SHARON E	9 CAMBRIDGE CIRCLE
13-0191-21	MADDEN DONNA M	11 CAMBRIDGE CIRCLE
22-0417-14	REMINDE NICOLE A ET AL T	13 CAMBRIDGE CIRCLE
26-0057-54	ZANNI BENJAMIN ET UX	15 CAMBRIDGE CIRCLE
19-1034-13	SHEA ALICIA B LIVING TRUS	17 CAMBRIDGE CIRCLE
12-1545-49	CAWLEY FREDERICK	19 CAMBRIDGE CIRCLE
01-0996-32	ANGARELLA RICHARD R REVOC	21 CAMBRIDGE CIRCLE
13-2215-84	MEIER MARY L/E	23 CAMBRIDGE CIRCLE
20-1030-00	DAVIDSON ELENA A	25 CAMBRIDGE CIRCLE
13-3462-18	MURPHY DENNIS M	27 CAMBRIDGE CIRCLE
13-2432-97	MICIELI RICHARD A FAMILY	29 CAMBRIDGE CIRCLE
02-1618-02	BOCKMILLER JOANNE	31 CAMBRIDGE CIRCLE
13-0064-01	MACERA GERALD G & BETHANY	33 CAMBRIDGE CIRCLE
02-1232-24	NARDELLA LINDA L	35 CAMBRIDGE CIRCLE
02-0522-80	HOLLENBECK KATHLEEN M REV	37 CAMBRIDGE CIRCLE
13-0351-25	MAJOR WILLIAM E ET UX	39 CAMBRIDGE CIRCLE
16-2217-14	PLOCIAC EDMUND & BARBARA	41 CAMBRIDGE CIRCLE
02-2840-06	JEFFREY BROWNELL LIVING T	43 CAMBRIDGE CIRCLE
01-0179-48	ADAMO CARL J ET UX	45 CAMBRIDGE CIRCLE
19-0277-35	SAMSON LEONARD L ET UX	47 CAMBRIDGE CIRCLE
22-0552-55	VISCIONE PHILIP V ET UX	49 CAMBRIDGE CIRCLE
16-0007-62	PRITIKIN ELLIOTT ET UX	51 CAMBRIDGE CIRCLE
04-2162-99	DISANTO RAYMOND REV TR	53 CAMBRIDGE CIRCLE
16-0122-12	PAGLIARINI STEPHEN W ET U	55 CAMBRIDGE CIRCLE
19-0708-10	SCOTT WALTER J	57 CAMBRIDGE CIRCLE
02-1582-94	BLICKWEDEL LIVING TRUST	36 CAMBRIDGE CIRCLE
01-0274-67	AFLAGUE JOHN REVOCABLE LI	34 CAMBRIDGE CIRCLE
18-0801-94	RICCI CATHY A ET AL	32 CAMBRIDGE CIRCLE
13-0235-50	MAGLIOZZI STEPHEN	30 CAMBRIDGE CIRCLE
16-0537-09	PARKER DONALD & CAROL L/E	28 CAMBRIDGE CIRCLE
12-1099-45	BOGER KATHRYN A	26 CAMBRIDGE CIRCLE
03-1431-70	NICODEMUS KATHRYN	24 CAMBRIDGE CIRCLE
16-0285-07	PAOLINO ALAN A ET UX	22 CAMBRIDGE CIRCLE
14-0429-72	YEAH REVOCABLE LIVING TRU	20 CAMBRIDGE CIRCLE
18-0803-37	RICCI CHRISTOPHER J	18 CAMBRIDGE CIRCLE
22-0423-97	VIEIRA JANE	16 CAMBRIDGE CIRCLE
04-1098-79	DELSESTO IRREVOCABLE TRUS	14 CAMBRIDGE CIRCLE
04-1363-00	DERCOLE ROBIN	12 CAMBRIDGE CIRCLE
01-0870-01	ZANOWSKI PAUL C	10 CAMBRIDGE CIRCLE
02-1582-79	BLEYER FAMILY IRREVOC TRU	8 CAMBRIDGE CIRCLE
04-2156-24	DISANTO DIANE	6 CAMBRIDGE CIRCLE
20-1256-64	TURBITT BERNICE C	4 CAMBRIDGE CIRCLE
03-2599-83	FERRARO JEFFERY R	2 CAMBRIDGE CIRCLE
13-3100-24	MORETTI JAMES O REVOCABLE	22 ALPINE RIDGE
01-0155-04	TOPPI FAMILY REVOCABLE LI	20 ALPINE RIDGE
19-2378-25	SPAMENI KATHLEEN A	18 ALPINE RIDGE
16-0660-50	PARYS JOSEPH H ET UX	16 ALPINE RIDGE
02-0061-84	BAESZLER CAROLYN H	14 ALPINE RIDGE
08-0473-75	CHARLENE HARRINGTON REVOC	12 ALPINE RIDGE

07-0693-00	GENTILE ALBERT L/E	10 ALPINE RIDGE
03-2954-20	COMTOIS MICHAEL R ET UX	8 ALPINE RIDGE
04-1328-97	DEPASTINA EDWARD T JR ET	6 ALPINE RIDGE
02-0019-30	PENTA DOMENIC J	4 ALPINE RIDGE
13-1843-49	MCKEE RICHARD P ET UX	2 ALPINE RIDGE
12-1575-05	LEPORE ANN	1 ALPINE RIDGE
07-0029-08	MCDERMOTT JOHN C	3 ALPINE RIDGE
13-0447-50	DONOGHUE MARY GALVIN	5 ALPINE RIDGE
11-0972-99	KOSACZ FRANK B L/E	7 ALPINE RIDGE
11-0725-51	KING JUDITH C	9 ALPINE RIDGE
13-0388-02	MALOOF RONALD W & GEREMI	11 ALPINE RIDGE
13-0382-84	MALONEY CATHERINE A	13 ALPINE RIDGE
20-0087-44	TAINSH ALAN A ET UX	1 RIMWOOD DR
04-0185-87	DAMIANO PAUL W JT PROPERT	3 RIMWOOD DR
18-0941-90	RICO ROBERT & BARBARA L/	5 RIMWOOD DR
13-2255-94	MELLODY JOYCE L REVOCABLE	7 RIMWOOD DR
13-2460-95	MIERNICKI PATRICIA	9 RIMWOOD DR
12-2407-02	LYNN CATHERINE P	24 INTERVALE RD
06-0715-12	FERRI COLLEEN B	22 INTERVALE RD
19-1502-57	SIRAVO FAMILY TRUST	20 INTERVALE RD
16-1251-18	PERREAULT STEPHEN J ET UX	18 INTERVALE RD
18-1410-94	ROMANO BEVERLY A	16 INTERVALE RD
03-1889-38	CHIN WALTER K ET UX	14 INTERVALE RD
04-0814-50	DECRISTOFARO NICHOLAS JR	12 INTERVALE RD
04-0087-79	THE THOMAS FAMILY TRUST	10 INTERVALE RD
20-8273-87	PAULHUS GERALD M & LUCILE	8 INTERVALE RD
02-3240-98	FINEGAN PAMELA J L/E	6 INTERVALE RD
22-0500-06	VILLELLA FAMILY REVOCABLE	4 INTERVALE RD
19-1905-15	SMITH JAMES R JR REV LIV	2 INTERVALE RD
CONDOMAIN	AMENDED DECLARATION	1-27 ALPINE RIDGE
05-0435-03	340 WATERMAN AVE LLC	40 MAPLE AVE
34-0100-00	TOWN OF SMITHFIELD	LAND ALONG RIVER

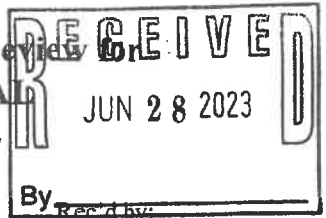


Application to Smithfield RI Zoning Board of Review for
SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File #

23-17



FILING FEES Application fee plus total postage cost for abutters' mailing.

Amt. Paid: \$

Amt. Due \$

Date Fee Paid:

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING;

1. ☐ **SPECIAL USE**, as provided in Section 5.0 of the ZONING ORDINANCE.
2. ☒ **VARIANCE** from the application of a requirement(s) of the ZONING ORDINANCE.
3. ☐ **APPEAL** of Building Official, Planning Board Decision, or Zoning enforcement agency.
4. ☐ **EXTENSION APPLICATION** for recorded decision. Year 1 ☐ Year 2 ☐ Year 3 ☐

APPLICANT: Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282

ADDRESS: 20445 Emerald Parkway Drive SW, Suite 220
Cleveland, Ohio 44135

PHONE: (216) 458-0670

OWNER: Same as Above

ADDRESS: _____

PHONE: _____

LESSEE/PURCHASER: N/A
existing/proposed

ADDRESS: _____

PHONE: _____

1. **Location of Property** Street Address: 400 George Washington Highway Pole # _____

Assessor Plat No. 48;

Assessor Lot No. 4C;

2. **Size of Lot** Dimensions: Width 292 Depth: 490 Total Area: 6.47 Acres/Sq. Ft. 281,833

3. **Zoning Designations** Current Zoning District Classification of Property: Highway Commercial/Economic Growth Overlay District

4. **Ownership Tenure**

DATE of PURCHASE of the above stated property by the CURRENT OWNER: 12/8/2021

Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental purposes? Yes ☐ No ☐ Does Not Apply ☒

5. **Developmental Status and Proposal**

A. Existing Developmental State

Are there any buildings on the property at present: Yes ☒ No ☐

If YES, how many buildings? 11

IDENTIFY the Size and Use of each building **:

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	Steel	11'	4540	Storage
(2)	Steel	11'	4543	Storage
(3)	Steel	11'	4543	Storage

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building Official? Yes ☐ No ☒ Does Not Apply ☐

If YES, has a Building Permit been refused? Yes ☐ No ☐

5. Developmental Status and Proposal-Continued

A. Existing Developmental State

	<u>Building Type</u>	<u>Height</u>	<u>Area (Sq. Ft.)</u>	<u>Use</u>
(4)	Masonry	11'	2411	Storage
(5)	Steel	11'	4537	Storage
(6)	Steel	11'	6300	Storage
(7)	Steel	11'	13,833	Storage
(8)	Steel	11'	2732	Storage
(9)	Steel	11'	10,794	Storage
(10)	Steel	11'	4834	Storage
(11)	Steel	11'	5450	Storage

6. SPECIAL USE PERMIT (Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.

- A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

- C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.

7. VARIANCE (Complete this Section only if Box No. 2 of the Introduction is checked).

- A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.

Applicant proposes to remove the existing 2,411 sf office building and replace it with a 3-story climate controlled self-storage building with 18,446 GSF/Floor and a total GSF of 55,338.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested.

4.3 TABLE OF USES-SECTION (J)(6), Section 9.4.8, TABLE 3 –EGO LAND USES as a Self-Storage Facility is not permitted in a Highway Commercial district or in the Economic Growth Overlay District. Also Section 3.7 EXISTENCE BY VARIANCE OR SPECIAL USE PERMIT which allows expansion or enlargement by further variance.

- C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land. The hardship is not the result of any prior action of the Applicant or Owner and does not result primarily from the desire of the Applicant to realize greater financial gain. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town. The relief to be granted is the least relief necessary.

8. NATURE OF APPEAL (Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance: _____, 20____

2. Basis for Appeal (Cite applicable provisions of ordinance.)

B. Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other data in support of appeal.)

C. Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondence, plans, and written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other data in support of appeal.)

I/We, the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

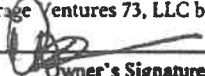
RESPECTFULLY SUBMITTED,

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282

Owner's Name Printed
Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager

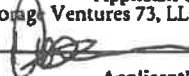
By



Owner's Signature Todd G. Amsdell, President
David P. Horton, CFO

Applicant's Name Printed
Amsdell Storage Ventures 73, LLC by: Amsdell Construction, Inc., its Manager

By



Applicant's Signature Todd G. Amsdell, President
David P. Horton, CFO

AGENT/ATTORNEY: Timothy F. Kane, Esquire

ADDRESS: 627 Putnam Pike
Greenville, Rhode Island 02828

PHONE: (401) 949-2228

REPRESENTING: Owner & Applicant

DATE: June 27, 2023

NOTE: *One original signed application and eleven copies must be submitted.*

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. **Three (3) sets of abutters printed on mailing labels.**

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

PUBLIC HEARING REQUIREMENT

No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire **one (1) year** from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY

Date Notices Sent to
Respective Property Owners: _____

Date of Newspaper Notice: _____

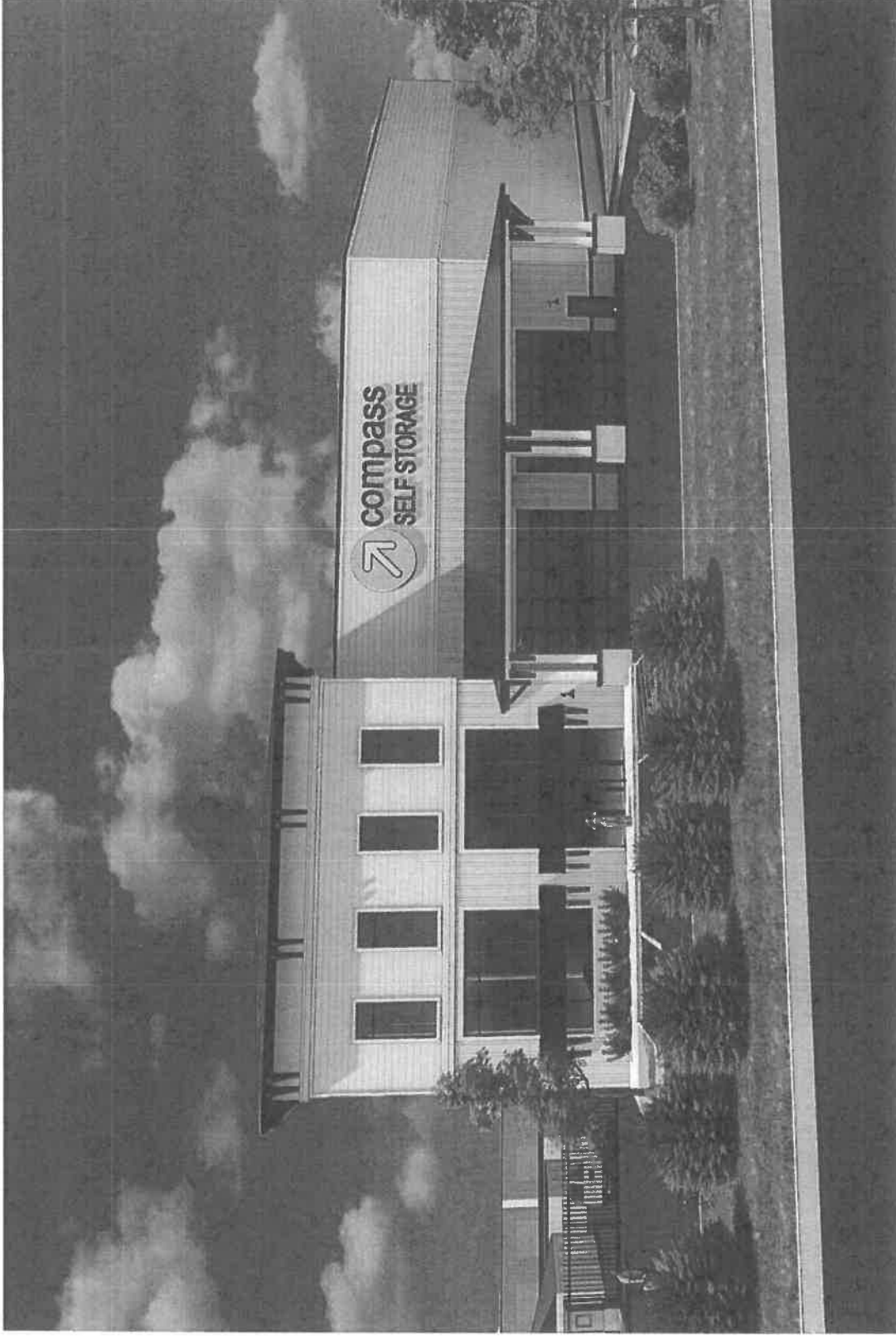
Newspaper _____



Compass Storage Smithfield

DESIGNHAUS
ARCHITECTS

March 17, 2023
3300 Auburn Rd. Ste. 300 | Auburn Hills, MI | 48326 | p 248 601 4422 | www.designhaus.com



Exterior Rendering

Owner Information

Jonathan Steele
Amsdell Companies
20455 Emerald Parkway, Suite 200
Cleveland, OH 44135
216.458.0670

Architectural Team

Designhaus Architecture LLC
3300 Auburn Rd Ste. 300
Auburn Hills, MI 48326
248.601.4422

Chief Architect: Peter Stuhreyer AIA



Site Location

3300 Auburn Rd. Ste. 300 | Auburn Hills, MI | 48326 | p 248 601 4422 | www.designhaus.com

March 17, 2023



ZONING ANALYSIS

Property Description:

Zoned: HC-Highway Commercial
Self-Storage Permitted per Dimensional Variance and
Amendment
Legal Nonconformity - Use No longer Permitted Under Current
Zoning

Total Area:
+/-276,104 Sq.Ft. (+/-8.13 Acres)

Minimum Lot Area:
2,500 Sq. Ft.

Minimum / Existing Frontage:
25' / 374.04'

Maximum Building Height:
48' per HC District
Existing Height - 8.8' / 18.35'

Maximum Lot Coverage:

Existing Building Coverage: 26%
Proposed Building Coverage: 43.54%

Setbacks:
Front: 10'
Side: 5'
Rear: 10'

Density: N/A

Existing Building:
+/- 64,886 GSF

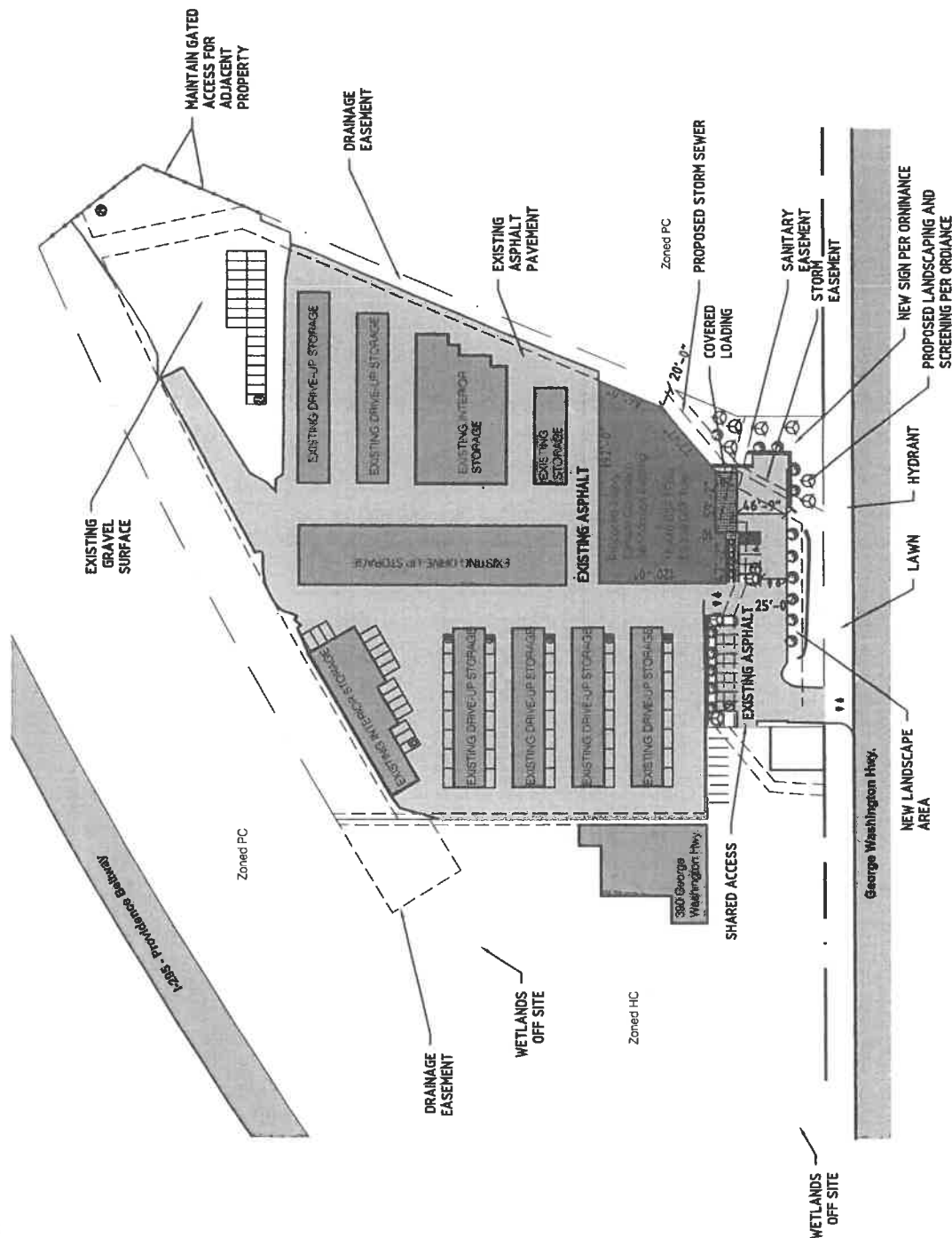
Total 120.225 GSF

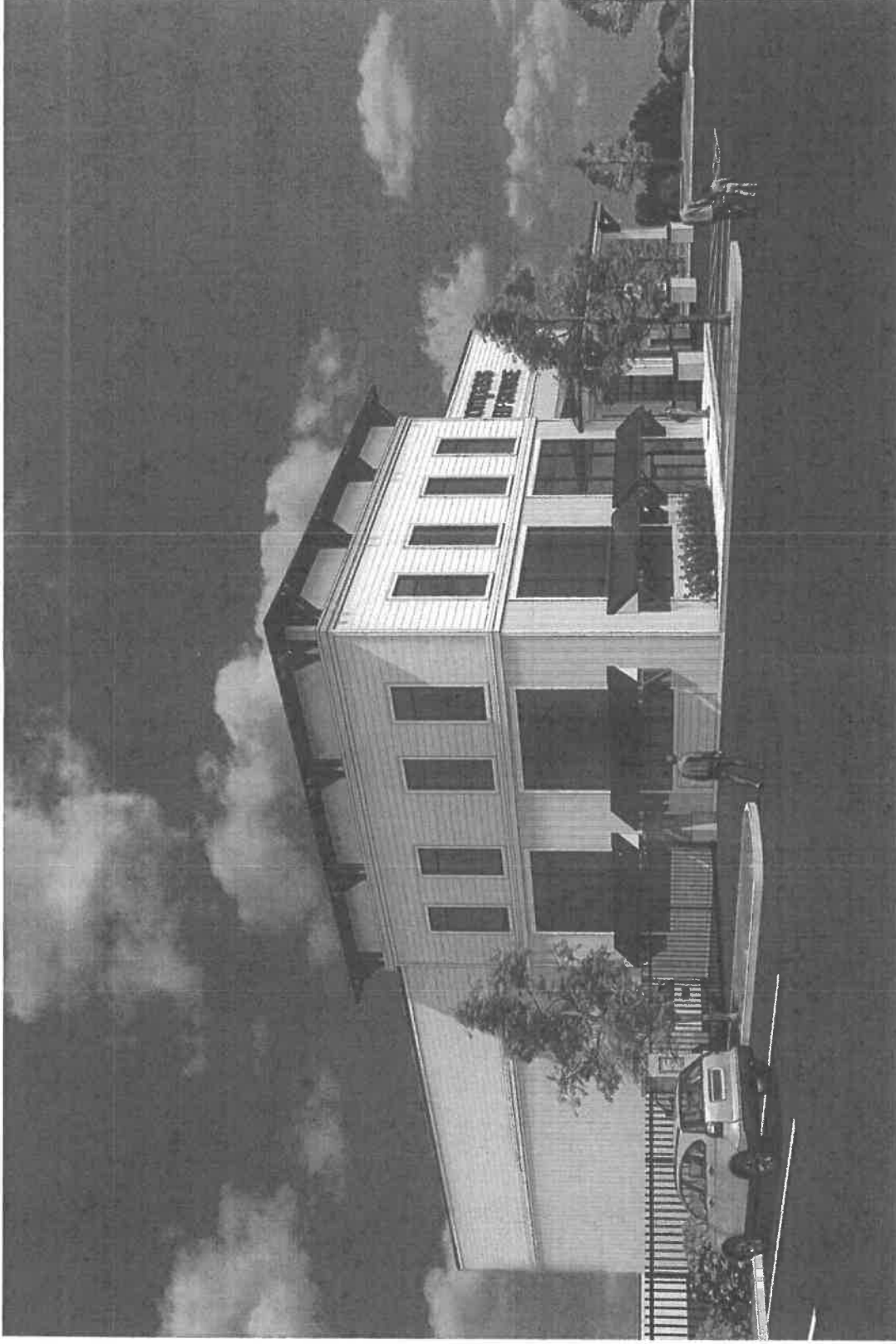
Parking:
Storage - 1 / 1,000 GSF
 $20,000 / 1000 =$
20 Spaces Required
20 Spaces Provided

Existing Open Space:
29.36%

Existing Coverage:
/- 195,037 GSF (70.64%)

March 17, 2023
248 601 4422 | www.designhaus.com





Exterior Rendering



March 17, 2023
3300 Auburn Rd. Ste. 300 | Auburn Hills, MI | 48326 | p 248 601 4422 | www.designhaus.com

Etiquettes d'adresse Easy Peel

ALCO PROPERTIES LLC
PO BOX 230
SMITHFIELD, RI 02828

COSTANTINO ALFRED A
PO BOX 17336
SMITHFIELD, RI 02917

295 REALTY ASSOCIATES LLC/O WILLIAM STAMP
1744 ATWOOD AVE
JOHNSTON, RI 02919

STATE OF RHODE ISLANDATTN: CENTRAL
SERVICES/STATE PROPERTIES
1 CAPITOL HILL
PROVIDENCE, RI 02908





Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

July 26, 2023

Amsdell Storage Ventures 73, LLC dba Compass Self Storage 282 as applicant and owner of property located as 400 George Washington Highway, listed as Plat 48, Lot 4C seeks variances to deviate from § 4.3.J.6 and 4.4.J.6 “Storage Facility not including Truck Terminal”, 9.4.8 Table 3 “Ego Land Uses” and 3.7 “Existence By Variance or Special Use Permit” to demolish the existing office building and construct a self-storage building in a Highway Commercial/Economic Growth Overlay district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at 6:00 PM, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam
Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.....

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield’s Building Official, address listed above.

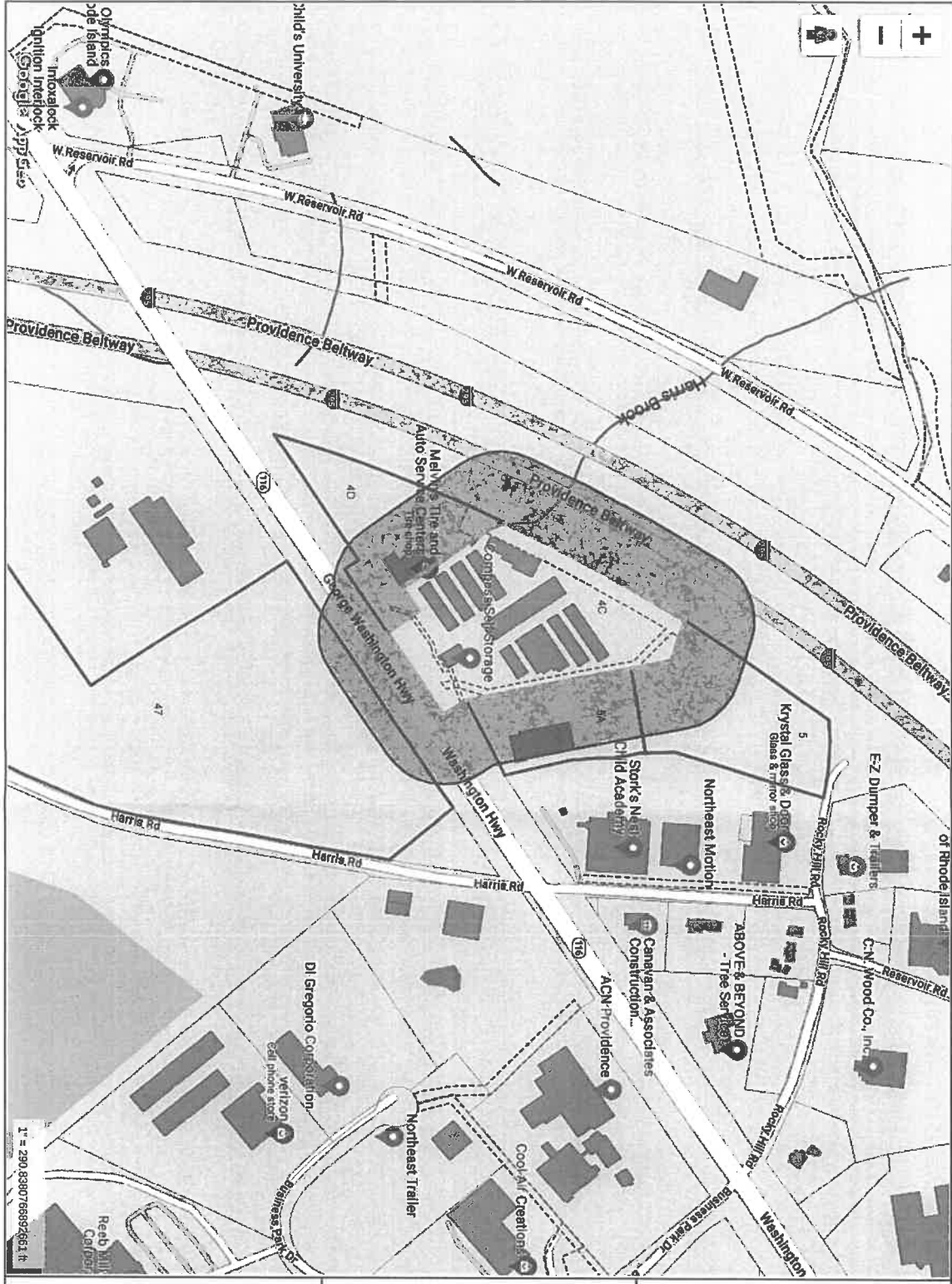
The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager’s office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.

Town of Smithfield, RI Abutters Report

200ft. Abutters of Property 6803
at 400 GEORGE WASHINGTON HWY

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated 6/1/2021.

Abutter	Site Address	Property ID	Owner Address
184949 ALCO PROPERTIES LLC	390 GEORGE WASHINGTON HWY	184949	ALCO PROPERTIES LLC PO BOX 230 SMITHFIELD, RI 02828
6804 COSTANTINO ALFRED A	34 ROCKY HILL RD	6804	COSTANTINO ALFRED A PO BOX 17336 SMITHFIELD, RI 02917
6805 295 REALTY ASSOCIATES LLC	420 GEORGE WASHINGTON HWY	6805	295 REALTY ASSOCIATES LLC/O WILLIAM STAMP 1744 ATWOOD AVE JOHNSTON, RI 02919
6865 STATE OF RHODE ISLAND	360 HARRIS RD	6865	STATE OF RHODE ISLANDATTN: CENTRAL SERVICES/STATE PROPERTIES 1 CAPITOL HILL PROVIDENCE, RI 02908



Property Information
Property ID 6803
Location 400 GEORGE WASHINGTON HWY
Owner AMDELL STORAGE VENTURES 73 LLC

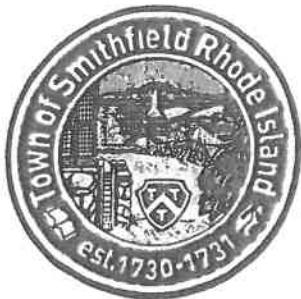


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Smithfield, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/11/2021
Data updated 6/11/2021

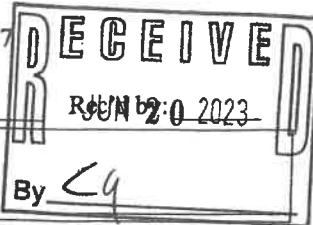
Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File # 23-14



FILING FEES Application fee plus total postage cost for abutters' mailing.

Amt. Paid: \$ _____ Amt. Due \$ _____

Date Fee Paid: By C4

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING;

- ☒ **SPECIAL USE**, as provided in Section 5.0 of the ZONING ORDINANCE.
- ☐ **VARIANCE** from the application of a requirement(s) of the ZONING ORDINANCE.
- ☐ **APPEAL** of Building Official, Planning Board Decision, or Zoning enforcement agency.
- ☐ **EXTENSION APPLICATION** for recorded decision. Year 1 ☐ Year 2 ☐ Year 3 ☐

APPLICANT: RICHARD + Ellen Fontaine

ADDRESS: 62 Burlingame Rd
Smithfield, RI 02917

PHONE: 401-231-1803

OWNER: FONTAINE FAMILY TRUST

ADDRESS: 62 Burlingame Rd
Smithfield, RI 02917

PHONE: _____

LESSEE/PURCHASER:
existing/proposed

ADDRESS: _____

PHONE: _____

- Location of Property** Street Address: 62 Burlingame Rd Pole # _____
Assessor Plat No. 50; Assessor Lot No. 57;
- Size of Lot** Dimensions: Width _____ Depth: _____ Total Area: _____ Acres/Sq. Ft. 1.5 Acres
- Zoning Designations** Current Zoning District Classification of Property: R-80
- Ownership Tenure**
DATE of PURCHASE of the above stated property by the CURRENT OWNER: 9/20/2022
Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental purposes? Yes ☐ No ☐ Does Not Apply ☒

5. Developmental Status and Proposal

A. Existing Developmental State

Are there any buildings on the property at present: Yes ☒ No ☐

If YES, how many buildings? _____

IDENTIFY the Size and Use of each building **:

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	<u>Dwelling</u>		<u>1,500 SF</u>	<u>Single Family Home</u>
(2)	<u>SHED</u>		<u>192 S.F.</u>	<u>SHED/Storage</u>
(3)	<u>CARPORT</u>		<u>400 S.F.</u>	<u>Vehicle storage</u>

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building

Official? Yes ☒ No ☐ Does Not Apply ☐

If YES, has a Building Permit been refused? Yes ☒ No ☐

6. SPECIAL USE PERMIT

(Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.

- A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.

CONSTRUCTION OF A 28'x28' attached garage and 18'x30' of additional living space

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

Article 3.9 Section D
Article 3.13 Section A
Article 4.5 - requesting 19'6" of relief from Side Setback Requirement

- C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.

This addition will not alter the characteristics of the surrounding area. The proposed addition follows the lines of the existing structure which was built prior to the adoption of current zoning ordinances.

7. VARIANCE

(Complete this Section only if Box No. 2 of the Introduction is checked).

- A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.

- B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested.

- C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

8. **NATURE OF APPEAL** (Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance: _____, 20____

2. Basis for Appeal (Cite applicable provisions of ordinance.)

B. Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

C. Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondence, plans, and written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

I/We, the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

Richard C Fontaine, RESPECTFULLY SUBMITTED,
Ellen M Fontaine Trustees

Owner's Name Printed

Ellen M Fontaine Richard C Fontaine

Owner's Signature

Same
Applicant's Name Printed

Same
Applicant's Signature

AGENT/ATTORNEY: _____

ADDRESS: _____

PHONE: _____

REPRESENTING: _____

DATE: _____

NOTE: *One original signed application and eleven copies must be submitted.*

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. **Three (3) sets of abutters printed on mailing labels.**

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

PUBLIC HEARING REQUIREMENT

No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

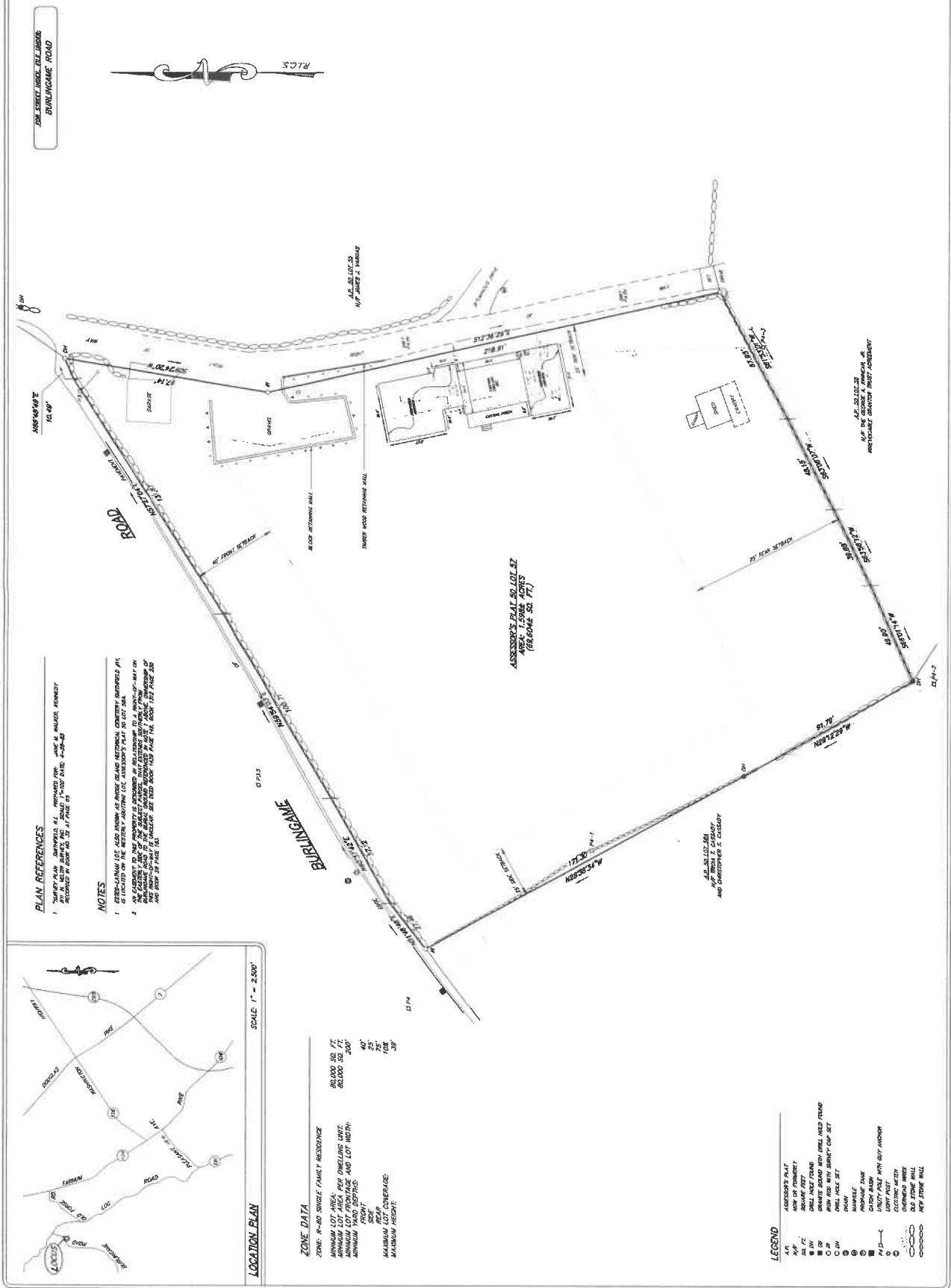
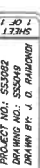
A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire **one (1) year** from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

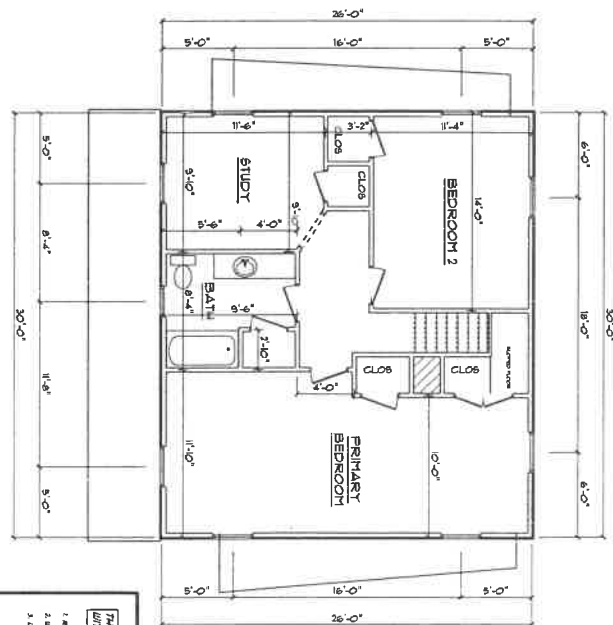
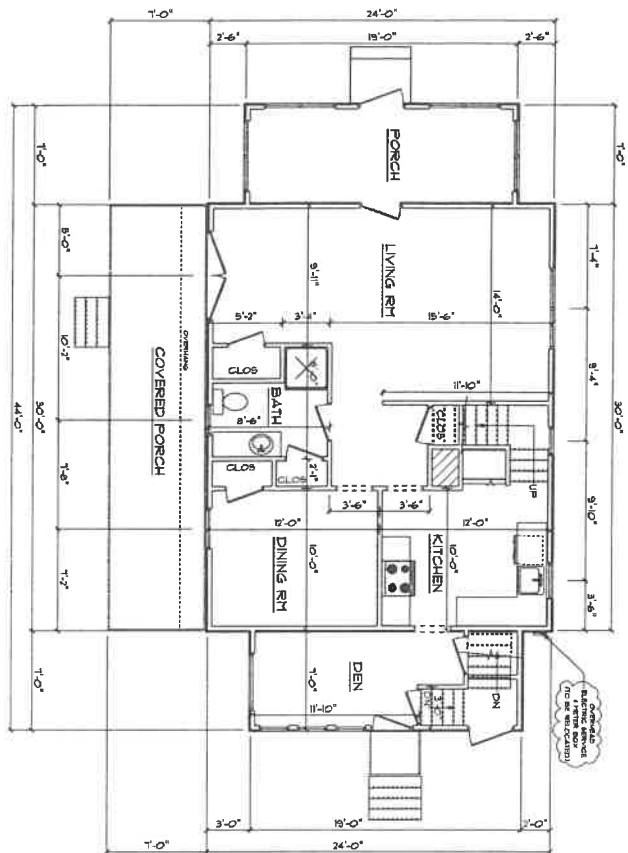
SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY

Date Notices Sent to
Respective Property Owners: _____

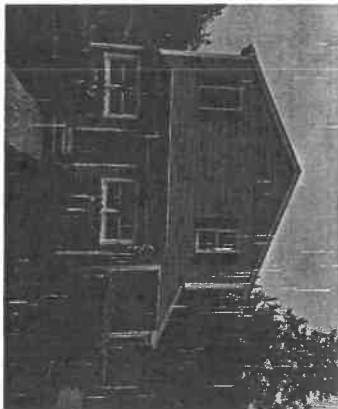
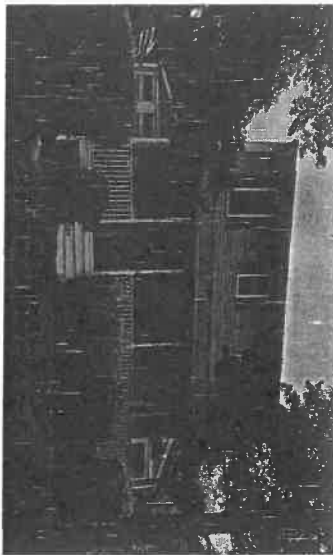
Date of Newspaper Notice: _____

Newspaper _____





THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

[illegible]

CONSTRUCTION PLANS ARE DRAFTED
FOR SINGLE-USE ONLY

DLR DIMENSIONS, INC
DOES NOT PERMIT THE USE OF PLANS
THAT HAVE BEEN TAMPERED WITH
BY OUTSIDE PARTIES

PROPOSED GARAGE &
DEN ADDITION

PREPARED FOR:
RICHARD & ELLEN FONTAINE
62 BURLINGAME ROAD
SMITHFIELD, RHODE ISLAND

EXISTING FRONT ELEVATION

EXISTING LEFT ELEVATION

EXISTING RIGHT ELEVATION

DRAWING NUMBER

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1 of 6

OUR DIMENSIONS, INC.
IS NOT LIABLE FOR
FURTHER
CHANGES TO NOTICE
DIMENSIONS
INVOICE DEDUCTIONS.
BUILDER/CONTRACTOR
MUST VERIFY
ALL DIMENSIONS AND
INSURE COMPLIANCE WITH
LOCAL CODES
PRIOR TO AND
DURING CONSTRUCTION



DIMENSIONS EST. 1989

401.738,3156

DRLRDIMENSIONS.COM

CONSTRUCTION PLANS ARE DRAFTED
FOR SINGLE-USE ONLY

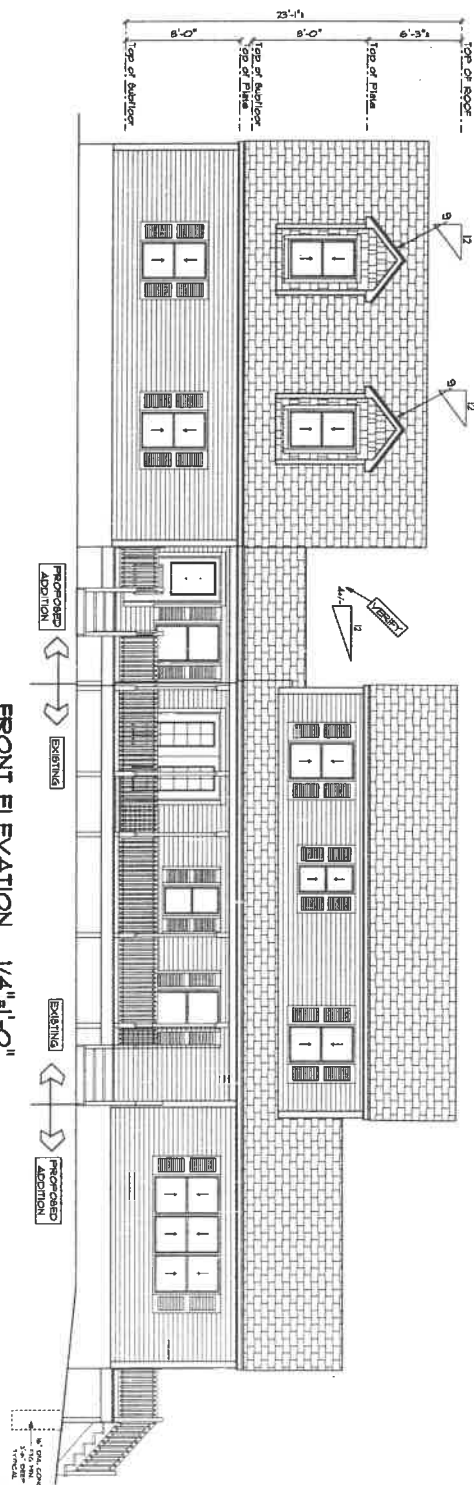
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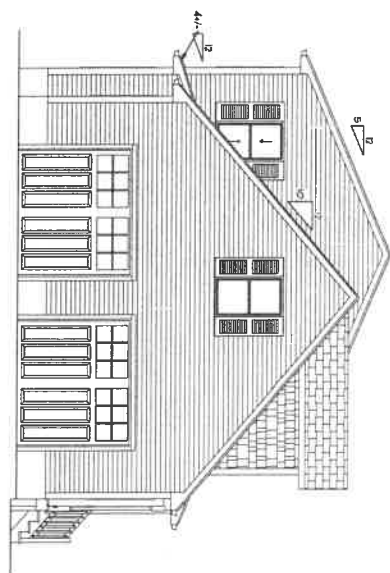
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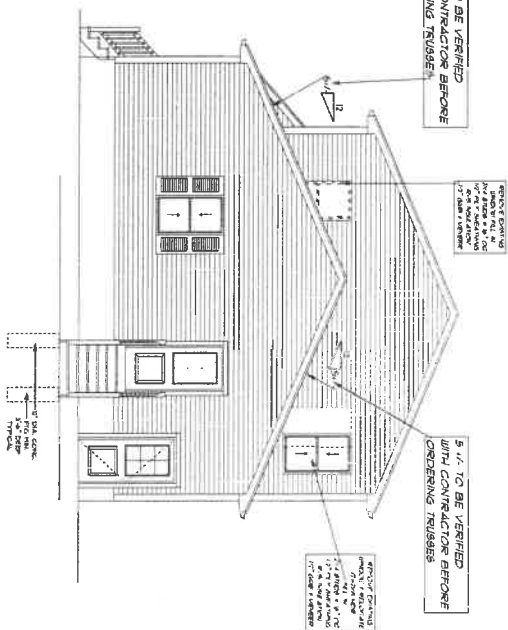
PREPARED FOR:
RICHARD & ELLEN FONTAINE
62 BURLINGAME ROAD
SMITHFIELD, RHODE ISLAND



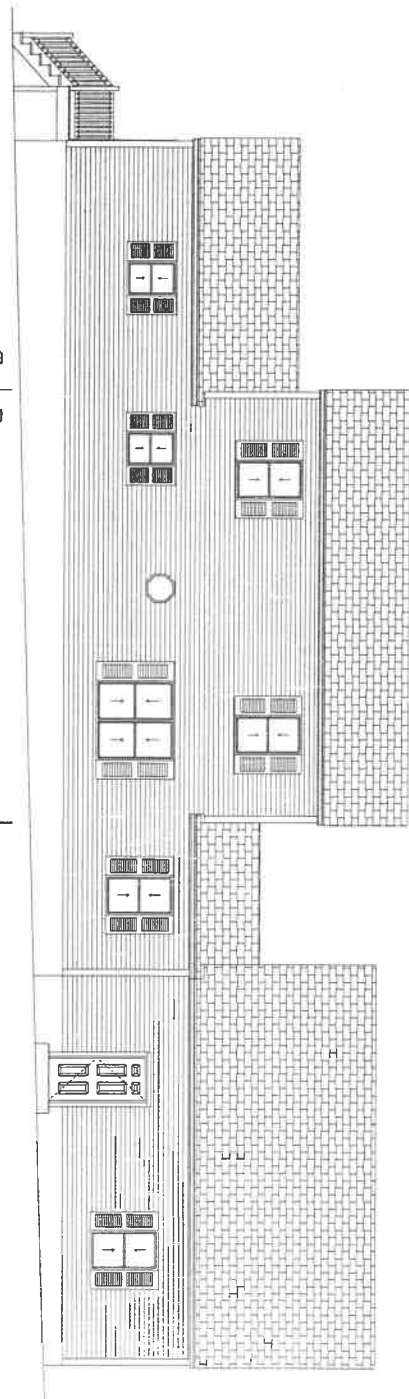
FRONT ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"



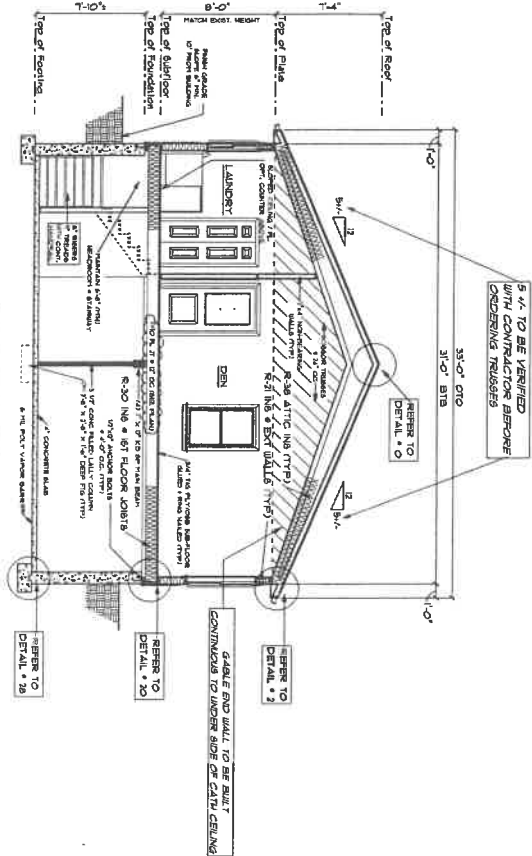
RIGHT SIDE ELEVATION 1/4"=1'-0"



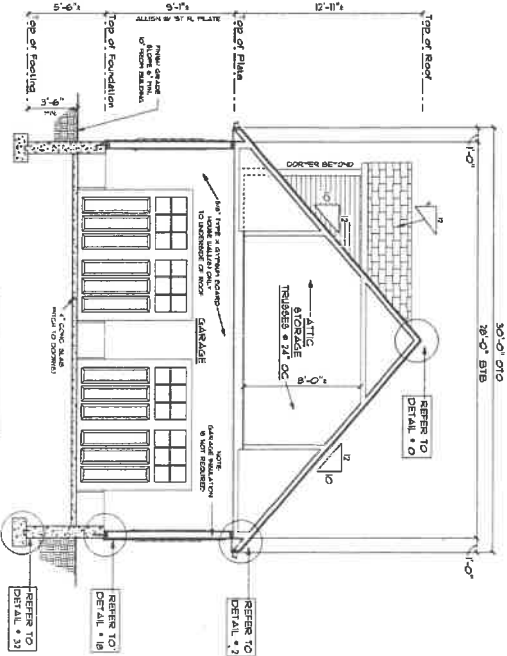
PROPOSED ← → EXISTING

EXISTING ← → PROPOSED

BACK ELEVATION 1/4"=1'-0"



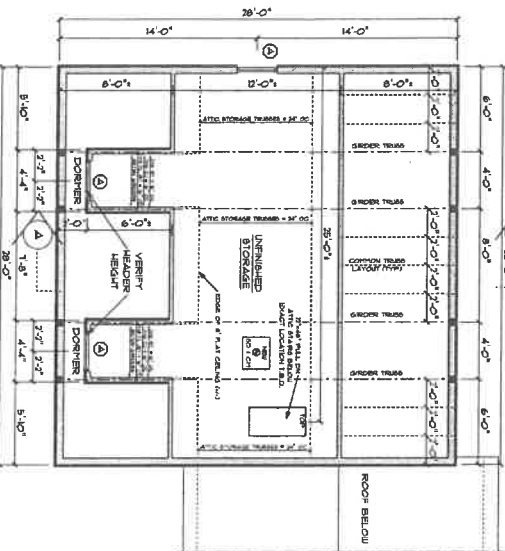
CROSS SECTION 'B' 1/4"=1'-0"



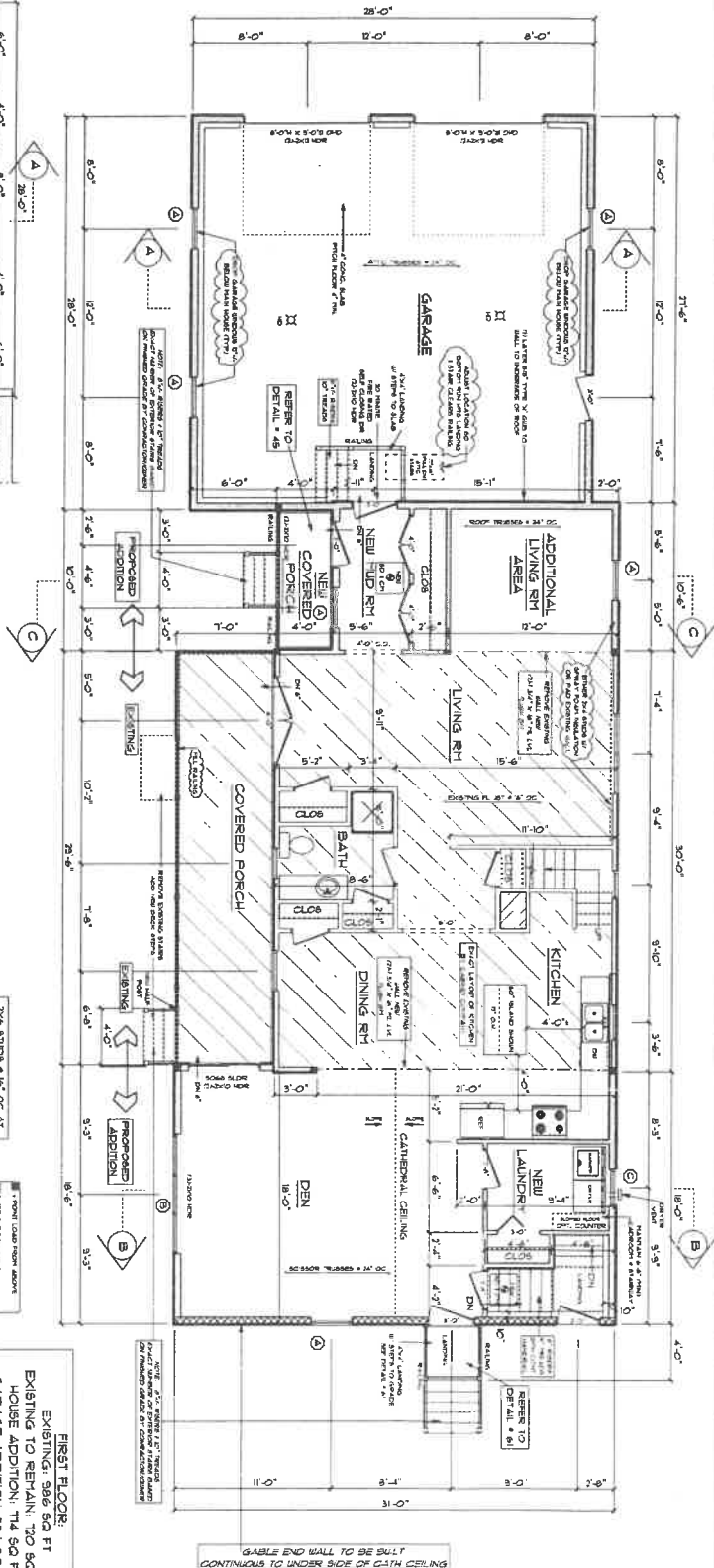
CROSS SECTION 'A' 1/4"=1'-0"

<p>PROPOSED GARAGE & DEN ADDITION</p> <p>PREPARED FOR: RICHARD & ELLEN FONTAINE 62 BURLINGAME ROAD SMITHFIELD, RHODE ISLAND</p>		<p>CONSTRUCTION PLANS ARE DRAFTED FOR SINGLEUSE ONLY</p> <p>DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPARED WITH BY OUTSIDE PARTIES</p>		<p>DLR DIMENSIONS, INC. 401.738.3156 DLRDIMENSIONS.COM</p>		<p>SCALE DATE DRAWN BY DRAWING NUMBER</p>	
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PROPOSED GARAGE ATTIC PLAN 1/4"=1'-0"



EXISTING & PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"



NO.	TYPE	SIZE	LOCATION	REMARKS
1	DOUBLE GLAZED	6'0" x 6'0"	LIVING RM	EXISTING
2	DOUBLE GLAZED	6'0" x 6'0"	KITCHEN	EXISTING
3	DOUBLE GLAZED	6'0" x 6'0"	DINING RM	EXISTING
4	DOUBLE GLAZED	6'0" x 6'0"	BATH	EXISTING
5	DOUBLE GLAZED	6'0" x 6'0"	DEN	EXISTING
6	DOUBLE GLAZED	6'0" x 6'0"	LAUNDRY	EXISTING
7	DOUBLE GLAZED	6'0" x 6'0"	GARAGE	EXISTING

LEGEND:

- 1. SOLID BRICK TO FOUNDATION
- 2. TYPED BRICK
- 3. BRICK DETECTOR
- 4. CARBON MONOXIDE
- 5. HEATING UNIT/BOILER
- 6. 100 CPH AIR VENTED TO OUTSIDE
- 7. 100 CPH AIR VENTED TO OUTSIDE
- 8. 100 CPH AIR VENTED TO OUTSIDE
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- 20. 100 CPH AIR VENTED TO OUTSIDE

EXISTING: 986 SQ. FT.
EXISTING: 130 SQ. FT.
HOUSE ADDITION: 114 SQ. FT.
GARAGE ADDITION: 184 SQ. FT.
PORCH ADDITION: 40 SQ. FT.

SECOND FLOOR:
EXISTING: 130 SQ. FT.
GARAGE ATTIC STORAGE: 384 SQ. FT.

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA:

1. FLOORING - 3/4" X 1/2" X 1/2"
2. WALLS - 8" CMU
3. ROOFING - 2" X 12" X 1/2"
4. FLOORING - 3/4" X 1/2" X 1/2"
5. WALLS - 8" CMU
6. ROOFING - 2" X 12" X 1/2"
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8. WALLS - 8" CMU
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12. ROOFING - 2" X 12" X 1/2"
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14. WALLS - 8" CMU
15. ROOFING - 2" X 12" X 1/2"
16. FLOORING - 3/4" X 1/2" X 1/2"
17. WALLS - 8" CMU
18. ROOFING - 2" X 12" X 1/2"
19. FLOORING - 3/4" X 1/2" X 1/2"
20. WALLS - 8" CMU

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE USE ONLY

DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

PROPOSED GARAGE & DEN ADDITION

PREPARED FOR: RICHARD & ELLEN FONTANE

62 BURLINGAME ROAD
SPRINGFIELD, RHODE ISLAND

DLR DIMENSIONS, INC. IS NOT LIABLE FOR ANY CHANGES TO THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF DLR DIMENSIONS, INC. AND THE CLIENT. ALL CHANGES MUST BE MADE IN WRITING AND MUST BE SIGNED BY BOTH DLR DIMENSIONS, INC. AND THE CLIENT.

DATE: 1/1/2020

SCALE: 1/4" = 1'-0"

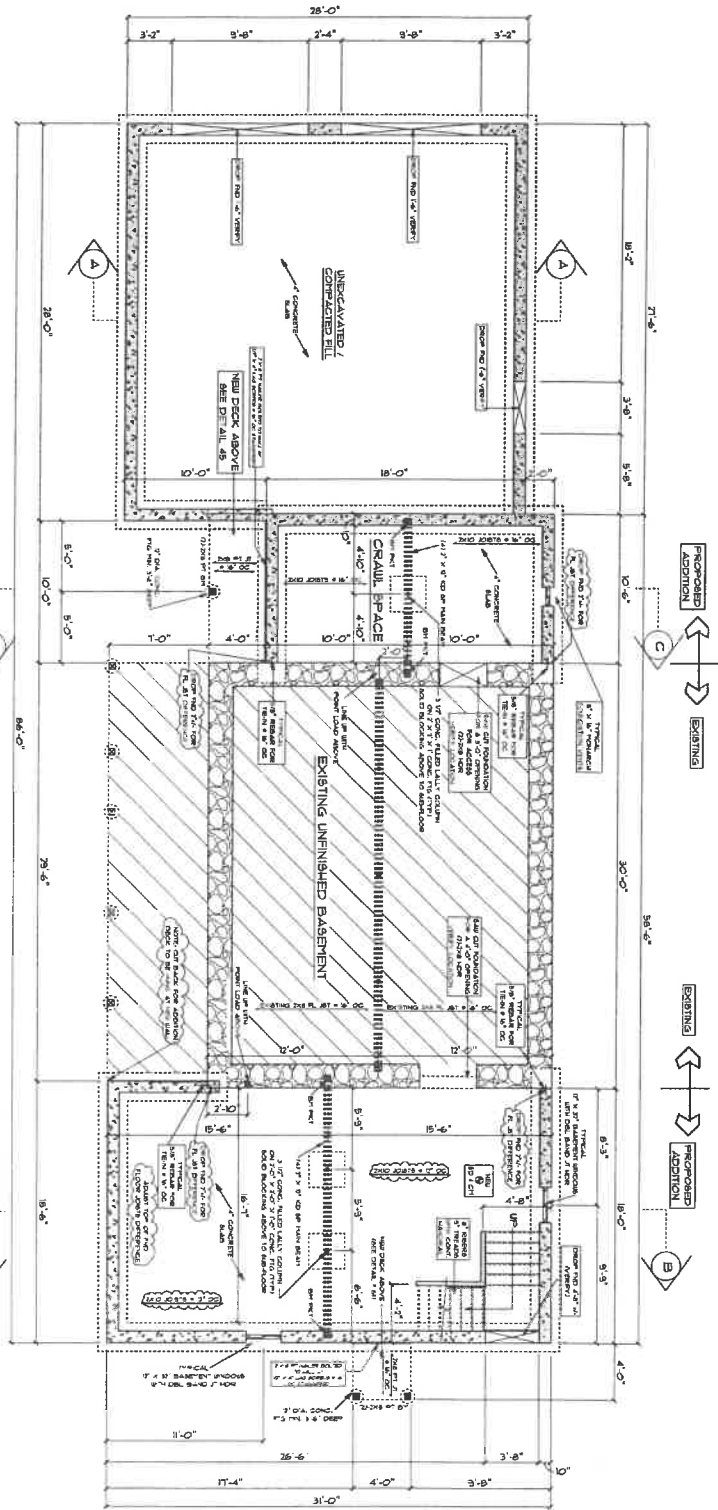
NOTED: 1/1/2020

APPROVED: 1/1/2020

DRAWN BY: DLR

DRAWING NUMBER: 6660

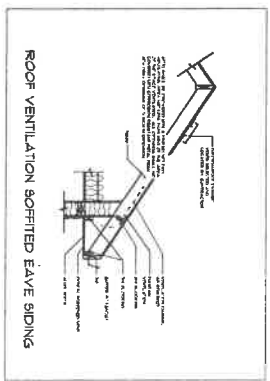
1 OF 5



FOUNDATION PLAN 1/4" = 1'-0"



TYPICAL FOUNDATION CONNECTIONS:
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 97. TYPICAL 12" x 12" x 12" CONCRETE
 98. TYPICAL 12" x 12" x 12" CONCRETE
 99. TYPICAL 12" x 12" x 12" CONCRETE
 100. TYPICAL 12" x 12" x 12" CONCRETE



PROPOSED GARAGE & DEN ADDITION

PREPARED FOR:
 RICHARD & ELLEN FONTAINE
 62 BURLINGAME ROAD
 SMITHFIELD, RHODE ISLAND

DLR DIMENSIONS
 RESIDENTIAL DESIGNERS & CONSULTANTS

401.738.3156 DLRDIMENSIONS.COM

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE HOME ONLY

OUR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

DATE: 10/11/2023

APPROVED: [Signature]

DRAWN BY: [Signature]

DRAWING NUMBER: 6660

SCALE: 1/4" = 1'-0"

NOTED: [Signature]

OUR DIMENSIONS, INC. IS NOT LIABLE FOR ANY CHANGES TO THESE PLANS OR ANY OTHER CHANGES MADE BY THE CLIENT OR ANY OTHER PARTY. ALL CHANGES MUST BE MADE IN WRITING AND SIGNED BY THE CLIENT AND OUR DIMENSIONS, INC. BEFORE CONSTRUCTION BEGINS.

Abutters Report

Abutters

REM ACCT NUM

19-1137-00
04-0020-93
03-3593-20
11-0755-00
22-0210-36
06-1210-21
03-1185-11
18-0677-98
01-0502-00
16-0622-80

REM OWN NAME

SHILKO JOHN A ET UX
DABATE MELISSA A ET VIR
COTE RONALD M ETUX
KINNEAR GEORGE JR IRREV G
VARGAS JAMES J
FONTAINE FAMILY TRUST
CASSADY TRICIA T ET VIR
FILIPPI CHRISTOPHER N
ALLARD LACROIX ASHLEY D
PARRILLO ANGELA J LIVING

REM PRCL LOCN

61 BURLINGAME RD
63 BURLINGAME RD
52 BURLINGAME RD
60 BURLINGAME RD
58 BURLINGAME RD
62 BURLINGAME RD
64 BURLINGAME RD
68 BURLINGAME RD
274 LOG RD
51 BURLINGAME RD

ALLARD LACROIX ASHLEY D
274 LOG RD
SMITHFIELD, RI 02917

PARRILLO ANGELA J LIVING TRUST RONALD J II &
ANGELA J PARRILLO TRUSTEES
P O BOX 153
GREENVILLE, RI 02828

COTE RONALD M ET UX SUZANNE F TE
52 BURLINGAME RD
SMITHFIELD, RI 02917

VARGAS JAMES J
58 BURLINGAME RD
SMITHFIELD, RI 02917

KINNEAR GEORGE JR IRREV GRANTOR
TRUST KINNEAR KATHLEEN IRREV GRANTOR TRUST
60 BURLINGAME RD
SMITHFIELD, RI 02917

FILIPPI CHRISTOPHER NHICKS KATHLEEN L
14 AUBURN AVE
JOHNSTON, RI 02919

CASSADY TRICIA T ET VIR CASSADY CHRISTOPHER S
TE
64 BURLINGAME RD
SMITHFIELD, RI 02917

SHILKO JOHN A ET UX KATHLEEN B TE
61 BURLINGAME ROAD
ESMOND, RI 02917

DABATE MELISSA A ET VIR JUSTIN A TE
63 BURLINGAME RD
SMITHFIELD, RI 02917



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

July 26, 2023

Richard and Ellen Fontaine as applicants and Fontaine Family Trust as owner of property located at 62 Burlingame Road, listed as Plat 50, Lot 57 seek a special use under § 3.9.D “Building Or Structure Nonconforming by Dimension, Addition and Enlargement”, 3.13.A “Special Use Permit For Expansion, Addition, Or Enlargement, Structure or Use of Structure”, 4.5 “Dimensional Relief by Special Use Permit” to construct an attached garage with living space in an R-80 district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at **6:00 PM**, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

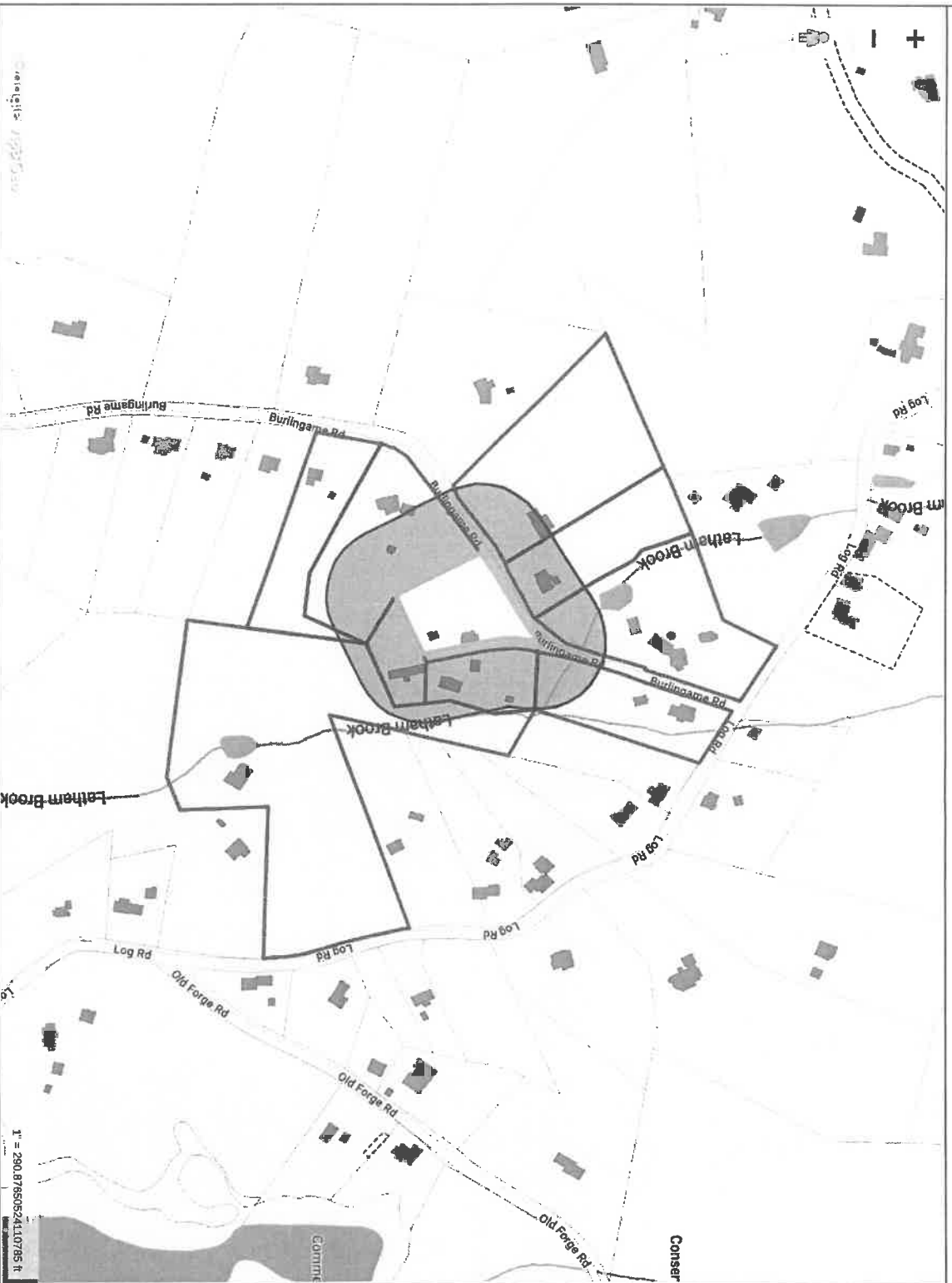
S. James Busam
Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.....

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield’s Building Official, address listed above.

The public is welcome to any meeting of the Zoning Board of Review. If communication assistance (readers/interpreters/captions) or any other accommodation to ensure equal participation is needed, please contact the Smithfield Town Manager’s office at 401-233-1010 at least forty-eight (48) hours prior to the meeting.

62 Burlingame Rd



Property Information
Property ID 7427
Location 62 BURLINGAME RD
Owner FONTAINE FAMILY TRUST

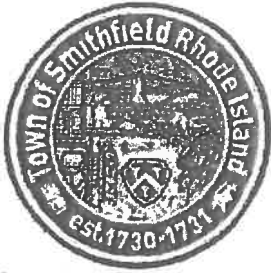


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Smithfield, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/11/2021
Data updated 6/11/2021

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



Application to Smithfield RI Zoning Board of Review for SPECIAL USE, VARIANCE OR APPEAL

TOWN HALL, 64 FARNUM PIKE, ESMOND, RI 02917

File # 2318 Rec'd by: _____

FILING FEES Application fee plus total postage cost for abutters' mailing.

Amt. Paid: \$ _____ Amt. Due \$ _____ Date Fee Paid: _____

NOTE: Application and documentation shall be accepted only in duplicate PDF format

This APPLICATION must be completed in full prior to being considered by the Zoning Board of Review. Refer to Page Four of this APPLICATION for additional information and materials required for submission with the APPLICATION.

The UNDERSIGNED hereby applies to the Smithfield Zoning Board of Review for the following:

I HEREBY SUBMIT THE FOLLOWING INFORMATION IN SUPPORT OF THIS REQUEST FOR CONSIDERATION AND PUBLIC HEARING:

1. ☒ **SPECIAL USE**, as provided in Section 5.0 of the ZONING ORDINANCE.
2. ☐ **VARIANCE** from the application of a requirement(s) of the ZONING ORDINANCE.
3. ☐ **APPEAL** of Building Official, Planning Board Decision, or Zoning enforcement agency.
4. ☐ **EXTENSION APPLICATION** for recorded decision, Year 1 ☐ Year 2 ☐ Year 3 ☐

APPLICANT: The Washington Trust Company c/o Dennis Algieri

ADDRESS: 23 Broad Street

PHONE: _____

Westerly, RI 02891

OWNER: W/S Smithfield Associates LLC

ADDRESS: 33 Boylston Street, Suite 3000

PHONE: _____

Chestnut Hill, MA 02467

LESSEE/PURCHASER: _____
existing/proposed

ADDRESS: _____

PHONE: _____

1. **Location of Property** Street Address: 371 Putnam Pike Pole # _____
Assessor Plat No. 43; Assessor Lot No. 21D
2. **Size of Lot** Dimensions: Width Variable Depth: Variable Total Area: 53.18 Acres/Sq. Ft. Acres
3. **Zoning Designations** Current Zoning District Classification of Property: C (Commercial)
4. **Ownership Tenure**

DATE of PURCHASE of the above stated property by the CURRENT OWNER: 11/02/2022

Will Ownership of said property be transferred by the CURRENT OWNER TO the APPLICANT for developmental purposes? Yes ☐ No ☒ Does Not Apply ☐

5. Developmental Status and Proposal

A. Existing Developmental State

Are there any buildings on the property at present: Yes ☒ No ☐

If YES, how many buildings? 6*

IDENTIFY the Size and Use of each building **:

*Proposed improvements for this application only include the closest building to Putnam Pike. Details for the remaining buildings are not included below.

	Building Type	Height	Area (Sq. Ft.)	Use
(1)	<u>Commercial Building</u>		<u>9505</u>	<u>Retail/Restaurant</u>
(2)				
(3)				

**NOTE: Use additional sheet(s) of paper, if necessary.

B. Proposed Development

Have plans for proposed construction activities for building structure(s) been submitted to the Office of the Smithfield Building Official? Yes ☐ No ☒ Does Not Apply ☐

If YES, has a Building Permit been refused? Yes ☐ No ☐

8. NATURE OF APPEAL. (Complete this Section only if Box #3 of the Introduction is checked).

A. Appeal of Building Official (Attach copy of any denial, notification or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of ordinance: _____, 20____
2. Basis for Appeal (Cite applicable provisions of ordinance.)

B. Appeal to the Smithfield Platting Board of Review from an action of the Smithfield Planning Board. (NOTE: attach copies of all correspondence, plans and the written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

C. Appeal to Zoning Enforcement Agency decision. (NOTE: attach copies of all correspondence, plans, and written decision pertaining to the appeal.)

Basis for Appeal (Cite applicable ordinance provisions and any other date in support of appeal.)

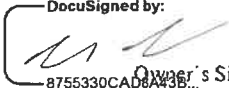
I/We, the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

Lou Masiello

RESPECTFULLY SUBMITTED,

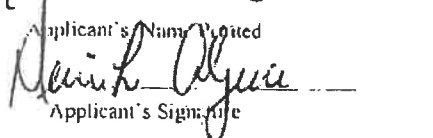
Its: Senior Vice President Asset Strategy and Development

Owner's Name Printed
DocuSigned by:



Owner's Signature
8755330CAD8A43B
For WS Asset Management LLC

AGENT/ATTORNEY: Joseph Brennan, Esq.
ADDRESS: 51 Jefferson Blvd., Suite 400
Warwick, RI 02888
PHONE: 401-827-0100
email: jbreman810@gmail.com
REPRESENTING: Applicant & Owner
DATE: 06/29/2023

Dennis L. Aljere, ERP
Applicant's Name Printed

Applicant's Signature

6. SPECIAL USE PERMIT (Complete this Section only if Box #1 of the Introduction is checked).

NOTE: For Special Use Permits - Three (3) copies of Site Plan and all additional material required by Section 10-9 A,B, and C of the Zoning Ordinance must accompany application.

A. IDENTIFY proposed use, action, or activity for which SPECIAL USE PERMIT is requested.

A portion of the building closest to Pulnam Pike is transitioning from a restaurant into a bank with no window service.

B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

Article 4, Section 4.3, Table of Uses, Zoning Uses 7B.

G 7B

C. DESCRIBE BRIEFLY how the granting of the SPECIAL USE PERMIT will meet the requirements of Section 10-8C.2 and 3 of the ZONING ORDINANCE.

In granting the special use permit, the general character of the surrounding area and lots will not be effected.

7. VARIANCE (Complete this Section only if Box No. 2 of the Introduction is checked).

A. IDENTIFY proposed activity, action, or use for which VARIANCE from the terms of the ZONING ORDINANCE is requested.

B. LIST precise ARTICLE(s) and SECTION(s) of the ZONING ORDINANCE from which VARIANCE is requested. BRIEFLY DESCRIBE applicable regulation of standard and the variance that is requested.

C. IDENTIFY Grounds for VARIANCE. The APPLICANT is required to relate this APPLICATION REQUEST to the Criteria governing the Granting of a VARIANCE as set forth in Section 10-8 C.1.

NOTE: *One original signed application and eleven copies must be submitted.*

REQUIRED ATTACHMENTS TO APPLICATION FOR VARIANCES AND SPECIAL USE PERMITS

11 (eleven) copies of Radius Map (scale not less than 200 feet/inch) showing all property, street names, plat and lot numbers within a 200' (two hundred feet) Radius.

12 (twelve) copies of a LIST OF ALL PROPERTY OWNERS within the 200' (two hundred feet) Radius. Said List shall identify the names and addresses of each property owner, with plat and lot numbers. Also available from Tax Assessors Office. **Three (3) sets of abutters printed on mailing labels.**

12 (twelve) copies of the PLOT PLAN showing the dimensions and location(s) of all existing and proposed buildings with identification as such, plus such building plans floor plans, sketches, and drawings as may be necessary to provide complete information relative to the APPLICATION'S proposal.

12 (twelve) copies of the SITE PLAN and all additional material required by Section 10-9 A, B and C must accompany application.

ALL REQUIRED INFORMATION AND ATTACHMENTS SHALL BE FILED AS SEPARATE DOCUMENTS AND MUST BE ACCOMPANIED BY THE APPLICATION AND FILING FEES FOR THE CASE TO BE CONSIDERED COMPLETE AND READY FOR PUBLIC HEARING.

ALL DOCUMENTS shall be filed in the office of the Smithfield Building Official (Smithfield Town Hall, 64 Farnum Pike, Esmond, RI 02917; Telephone: (401) 233-1039. Said documents shall be filed at least forty two (42) days in advance of the regular monthly meeting of the Smithfield Zoning Board of Review.

FILING FEES, payable to the Town of Smithfield, shall be paid by the APPLICANT at the time of APPLICATION SUBMISSION. Smithfield Municipal Agents acting within their official capacity shall be exempted from the Filing Fees.

PUBLIC HEARING REQUIREMENT

No APPLICATION for a SPECIAL USE PERMIT, VARIANCE, or APPEAL to the Smithfield ZONING ORDINANCE shall be heard by the Zoning Board of Review until after a Public Hearing has been held upon the APPLICATION. Written Notice of the time and place of such Public Hearing, and the purpose thereof, shall be made by the Zoning Board of Review to all owners of any Real Property within 200' (two hundred feet) of the perimeter of the Real Property, which is the subject matter of the APPLICATION. Said Written Notice shall be made by Registered or Certified Mail at least fourteen (14) days prior to the date of said Public Hearing. Publication of such Notice shall also be made in a newspaper of general circulation within the Town of Smithfield at least fourteen (14) days prior to the date of such Hearing. (Zoning Ord. §10.8,B) Any party may appear at the Public Hearing in person, by agent, or by attorney and may present such experts or witnesses that may have information relating to the APPLICATION.

EXPIRATION OF SPECIAL USE PERMITS AND VARIANCES

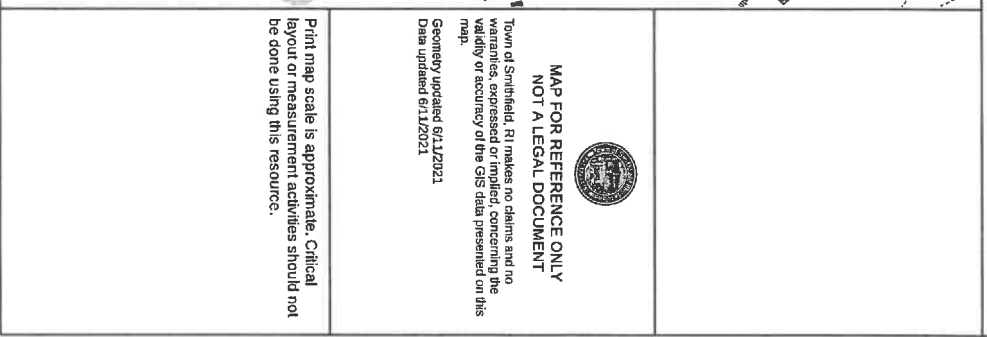
A Special Exception or a Variance from the provisions of the Smithfield Zoning Ordinance shall expire one (1) year from the date granted by the Board unless the applicant exercises the permission granted or receives a building permit to do so and commences construction and diligently prosecutes the construction until completed. No application for the renewal of a lapsed Special Use Permit or Variances shall be granted without a hearing.

SPACE BELOW RESERVED FOR ZONING BOARD OF REVIEW USE ONLY

Date Notices Sent to
Respective Property Owners: _____

Date of Newspaper Notice: _____

Newspaper: _____



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Smithfield, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/11/2021
Data updated 6/11/2021

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

W/S SMITHFIELD ASSOCIATES OP
OWNER LLC
33 BOYLSTON STREET SUITE 3000
CHESTNUT HILL, MA 02467

PI 100242

GLOBAL COMPANIES LLCC/O ALLIAN
ENERGY LLC/TAX DEPT
15 NORTHEAST INDUSTRIAL ROAD
BRANFORD, CT 06405

PI 3428

375 PUTNAM PIKE LLC
63 ATLANTIC AVE
BOSTON, MA 02110

PI 3438

INTERCHANGE REALTY LLCC/O
STEPHEN A CARDI ATTN
400 LINCOLN AVE
WARWICK, RI 02888

PI 4297

HILLTOP SMITHFIELD EAST LLC
363 PUTNAM PIKE
SMITHFIELD, RI 02917

PI 3426

RONCI REALTY ASSOCIATES LLC
20 CEDAR SWAMP RD
SMITHFIELD, RI 02917

PI 3429

GLOBAL SIGNAL ACQUISITIONS IV LLC
PMB 331- 4017 WASHINGTON RD
MCMURRAY, PA 15317

PI 4289

ALBA PROPERTIES LLC
20 LEVI LANE
SMITHFIELD, RI 02917

PI 4464

GLOBAL COMPANIES LLCC/O ALLIA
ENERGY LLC/TAX DEPT
15 NORTHEAST INDUSTRIAL ROAD
BRANFORD, CT 06405

P

HILLTOP SMITHFIELD LLC
363 PUTNAM PIKE
SMITHFIELD, RI 02917

P

W/S SMITHFIELD ASSOCIATES OP
OWNER LLC
33 BOYLSTON STREET SUITE 3000
CHESTNUT HILL, MA 02467

P



Town of Smithfield Zoning Board of Review

64 Farnum Pike, Smithfield, Rhode Island 02917
(401) 233-1039

S. James Busam, Chairman

July 26, 2023

The Washington Trust Company c/o Dennis Algieri as applicant and W/S Smithfield Associates LLC as owner of property located at 371 Putnam Pike, listed as Plat 43, Lot 21D seek a special use permit under § 4.3.G.7B and 4.4.G.7 “Bank Without Window Service” to renovate an existing building to operate a bank with no window service in a Commercial district.

A public hearing on this application has been scheduled for Wednesday, August 9, 2023 at **6:00 PM**, at Smithfield Town Hall, 64 Farnum Pike

By Order of the Zoning Board of Review

S. James Busam
Chairman

NOTE: Interested parties may be represented by counsel/provide expert witness at such Zoning Board hearings.....

Please also note that the application and documents in regard to this case are on file for public inspection in the office of the Town of Smithfield’s Building Official, address listed above.

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Town of Smithfield, RI Abutters Report

200ft. Abutters of Property 4290 at 371 PUTNAM PIKE
Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated 6/7/12021.

Abutter	Site Address	Property ID	Owner Address
100242 W/S SMITHFIELD ASSOCIATES OP OWNER LLC	371 PUTNAM PIKE	100242	W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467
3426 HILLTOP SMITHFIELD EAST LLC	348 PUTNAM PIKE	3426	HILLTOP SMITHFIELD EAST LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917
3427 GLOBAL COMPANIES LLC	364 PUTNAM PIKE	3427	GLOBAL COMPANIES LLC/C/O ALLIANCE ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL ROAD BRANFORD, CT 06405
3428 GLOBAL COMPANIES LLC	368 PUTNAM PIKE	3428	GLOBAL COMPANIES LLC/C/O ALLIANCE ENERGY LLC/TAX DEPT 15 NORTHEAST INDUSTRIAL NROAD BRANFORD, CT 06405
3429 RONCI REALTY ASSOCIATES LLC	370 PUTNAM PIKE	3429	RONCI REALTY ASSOCIATES LLC 20 CEDAR SWAMP RD SMITHFIELD, RI 02917
3434 HILLTOP SMITHFIELD LLC	363 PUTNAM PIKE	3434	HILLTOP SMITHFIELD LLC 363 PUTNAM PIKE SMITHFIELD, RI 02917

Town of Smithfield, RI Abutters Report

200ft. Abutters of Property 4290
at 371 PUTNAM PIKE

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3438 375 PUTNAM PIKE LLC	375 PUTNAM PIKE	3438	375 PUTNAM PIKE LLC 63 ATLANTIC AVE BOSTON, MA 02110
4289 GLOBAL SIGNAL ACQUISITIONS IV LLC	0 LEVI LANE	4289	GLOBAL SIGNAL ACQUISITIONS IV LLC PMB 331- 4017 WASHINGTON RD MCMURRAY, PA 15317
4291 W/S SMITHFIELD ASSOCIATES OP OWNER LLC	371 PUTNAM PIKE	4291	W/S SMITHFIELD ASSOCIATES OP OWNER LLC 33 BOYLSTON STREET SUITE 3000 CHESTNUT HILL, MA 02467
4297 INTERCHANGE REALTY LLC	0 MOUNTAINDALE RD	4297	INTERCHANGE REALTY LLC/O STEPHEN A CARDI ATTNY 400 LINCOLN AVE WARWICK, RI 02888
4464 ALBA PROPERTIES LLC	20 LEVI LANE	4464	ALBA PROPERTIES LLC 20 LEVI LANE SMITHFIELD, RI 02917



THIS PLAN WAS PREPARED BY THE ENGINEER OR ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. ANY REVISIONS TO THIS PLAN MUST BE MADE BY THE ENGINEER OR ARCHITECT AND MUST BE APPROVED BY THE BOARD OF REGISTRATION. ANY VIOLATION OF THIS ACT IS A CRIME UNDER THE LAWS OF THE COMMONWEALTH OF MASSACHUSETTS.

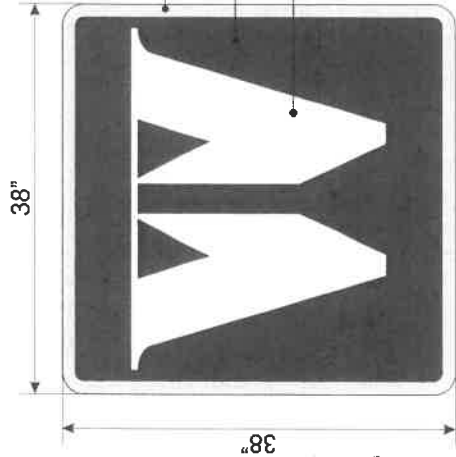
SITE PLAN
WASHINGTON TRUST, PUTNAM PIKE
23 BROAD STREET, WESTLEY, RHODE ISLAND 02881
SHEPHERD, RHODE ISLAND
NO. DATE DESCRIPTION
DESIGNED BY: D.M. D.
BY: D.M. D.
CHECKED BY: D.M. D.
APPROVED BY: D.M. D.



SCALE: 1"=40'



- SOIL EROSION AND SEDIMENT CONTROL NOTES:**
1. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE TO BE CONSIDERED AND MAINTAINED IN ACCORDANCE WITH THE 401 C.D.R. REGULATIONS OF THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS, AND THE 100M REGULATIONS OF THE DEPARTMENT OF PUBLIC WORKS, THE TOWN OF WESTLEY, AND THE TOWN OF WESTLEY.
 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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- SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:**
1. INITIAL SITE CONSTRUCTION PHASING TO BE COMPLETED IN 10 DAYS.
 2. EROSION CONTROL MEASURES TO BE INSTALLED IMMEDIATELY UPON THE START OF CONSTRUCTION.
 3. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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 10. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TRAFFIC NOTES:**
1. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
 2. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
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 5. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
 6. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
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 10. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
- LANDSCAPE AND UTILITY NOTES:**
1. ALL LANDSCAPE AND UTILITY MEASURES SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY DEPARTMENT (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT TO DATE.
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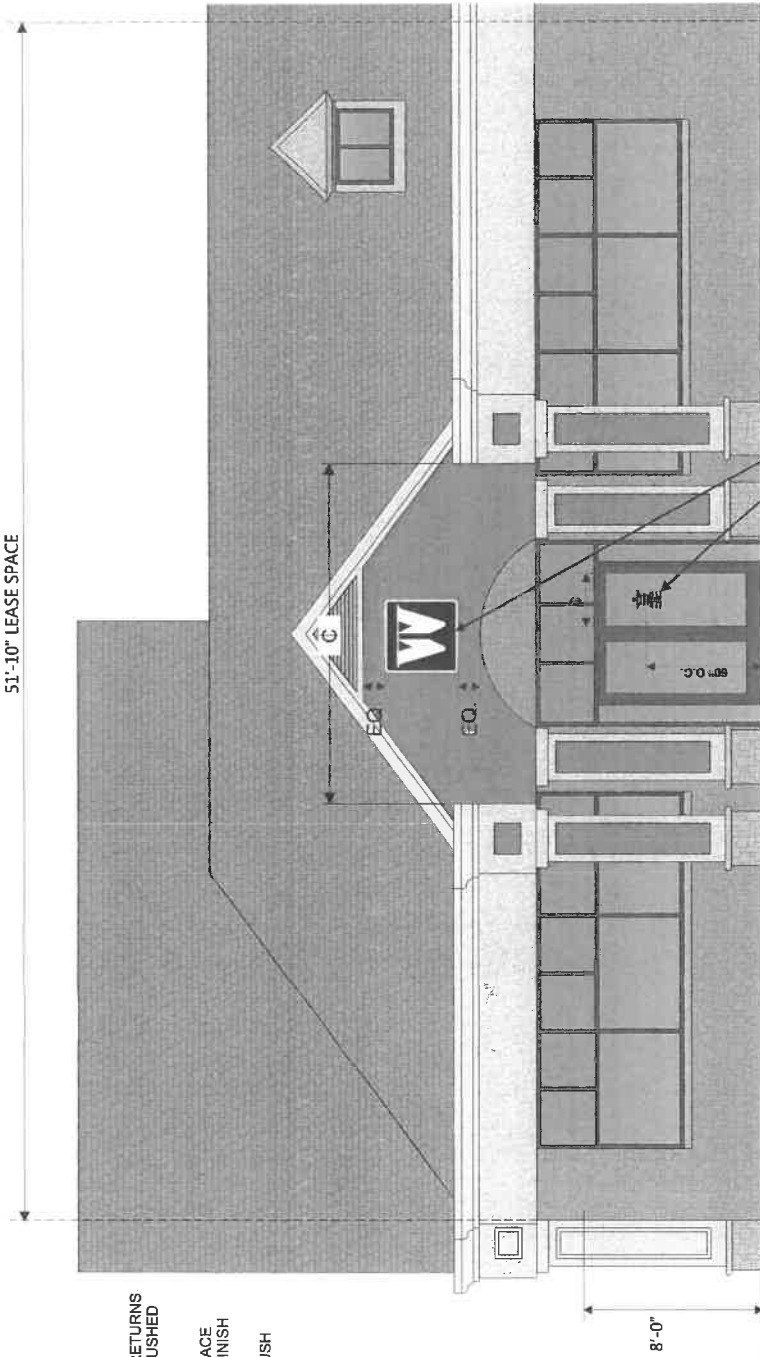
10.0 SQ FT

FABRICATED ALUM. FRONT LIT/ HALO LIT LOGO CABINET
FOR WEST ELEVATION - QTY: 1 SET
SCALE: 1" = 1'-0"

- REVERSE CHANNEL CONSTRUCTION
- 3 1/4" DEEP WELDED ALUMINUM RETURNS WITH WELDED ALUM. FACES
- MASKED AND PAINTED FACE AND RETURNS TO MATCH MAP BRUSHED ALUMINUM
- MASKED AND PAINTED FACE TO MATCH MP02172 DK BLUE SATIN FINISH (BLUE)
- STENCIL CUT ALUMINUM FACE WITH 1/2" THICK WHITE TRANSLUCENT ACRYLIC PUSH-THRU "W" LOGO.
- 3/8" THICK CLEAR POLYCARBONATE BACK
- 220-10 WHITE VINYL APPLIED TO THE INSIDE OF POLYCARBONATE BACK AND WEEDED 3" IN FROM THE PERIMETER
- WHITE L.E.D. ILLUMINATION (4000K) PER LL REQUIREMENT
- THRU-BOLTED TO WALL WITH 1/4"-20 RIV NUTS, THREADED ROD AND 1 1/2" LONG ALUMINUM SPACERS (PAINT SPACERS TO MATCH SW-2132-50 PILGRIM HAZE
- 12'-0" LONG TAPPAN WIRE WHIP
- ALL EXPOSED HARDWARE PAINTED TO MATCH MAP BRUSHED ALUMINUM
- INSTALL PATTERN INCLUDED
- WEEP HOLES REQUIRED (LOCATE AT BOTTOM OF POLYCARBONATE BACK)
- MANUFACTURE LABELS ON THE LEFT FILLER TOWARDS BOTTOM
- (1) REMOTE FRANCE FAST PAK LED KIT

NOTE:
SEAL ALL NEW WALL PENETRATIONS WITH SILICONE ADHESIVE

51'-10" LEASE SPACE



PARKING LOT ELEVATION:
37'-16" = 1'-0"

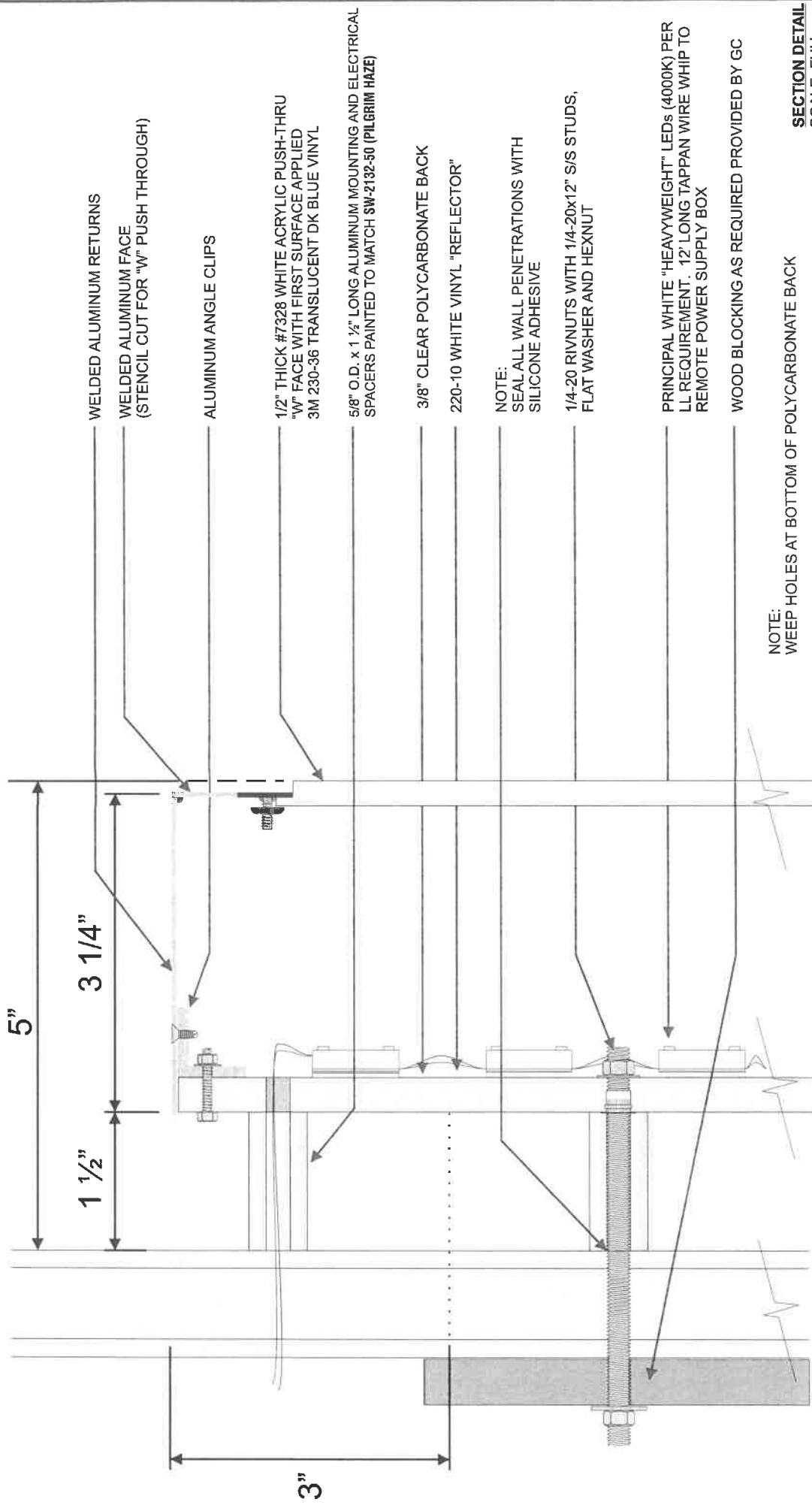
PROPOSED WALL SIGN
SECOND SURFACE APPLIED
WHITE VINYL GRAPHICS
FOR BANK HOURS

NOTE:
GC TO RE-SURFACE FASCIA AND PAINT TO
FASCIA TO MATCH SW-2132-50 (PILGRIM HAZE)

CODE NOTES:
WALL SIGNS
- NUMBER UNRESTRICTED
- MUST FACE PUBLIC ROW OR PARKING LOT
- NOT TO EXCEED 1 SQ. FT. PER LINEAR FT. OF
STREET/ PARKING LOT FACADE

SEE FOLLOWING PAGE FOR WALL SIGN SECTION DETAILS

ARTWORK EXCLUSIVE PROPERTY OF		1917		APPROVALS		SIGNATURE REQUIRED/ INITIALS REQUIRED/ NO PRODUCTION		REVISIONS		CLIENT		WORK ORDER NUMBERS		PROJECT MANAGER		TOM MANDEVILLE	
SINCE		MANDENVILLE SIGN		Engineering		DATE		DATE		DATE		NOTED		DTM		3/16/23	
676 GEORGE WASHINGTON HIGHWAY		UNION, NJ 07085-4255		Sales		DATE		DATE		DATE		SCALE		ARTIST		DATE	
PHONE 401-334-9100		FAX 401-334-7799		Production		DATE		DATE		DATE		371 PUTNAM PIKE		SUITE Q-180		SMITHFIELD, RI	
WEB www.mandevillesign.com		Quality Control		DATE		DATE		DATE		DATE		DRAWING NAME		.1			

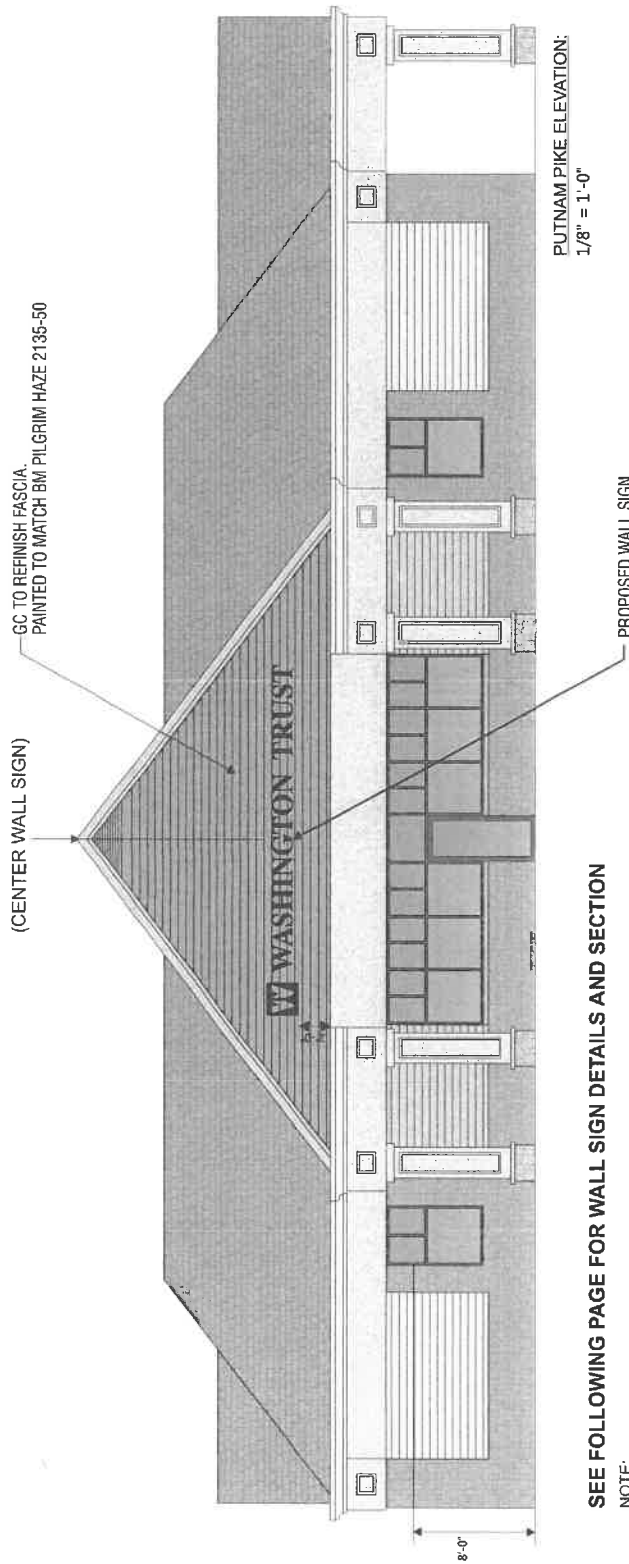


SECTION DETAIL
SCALE: FULL

WORK ORDER NUMBER(S) PROJECT MANAGER TOM MANDEVILLE		DTM 3/19/23		DATE 3/19/23	
CLIENT Washington Trust		STORE # 371 PUTNAM PIKE SUITE C-160 SMITHFIELD, RI		DRAWING NAME .2	
APPROVALS Signatures Required Before Release to Production		REVISIONS			
Engineering DATE	DATE	INC. BY 1 XX XX	DESCRIPTION	DATE XX	
Sales DATE	DATE	2			
Production DATE	DATE	3			
Quality Control DATE	DATE	4			
DATE	DATE	5			
DATE	DATE	6			
DATE	DATE	7			

SINCE 1917

MANDEVILLE SIGN
making your mark.
 676 GEORGE WASHINGTON HIGHWAY
 LINCOLN, RI 02865-4555
 PHONE 401-334-9100 FAX 401-334-7799
 WEB www.mandevillesign.com



SEE FOLLOWING PAGE FOR WALL SIGN DETAILS AND SECTION

NOTE:
SEAL ALL NEW WALL PENETRATIONS WITH SILICONE ADHESIVE

<p>1917</p> <p>MANDERVILLE SIGN</p> <p>676 GEORGE WASHINGTON HIGHWAY LINCOLN, RI 02855-4255</p> <p>PHONE 401-334-9100 FAX 401-334-7799</p> <p>WEB www.mandervillesign.com</p>		<p>APPROVALS</p> <p>Signatures Required Before Release to Production</p> <table border="1"> <tr> <th>NO.</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>XX</td> <td>XX</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> </table>		NO.	BY	DATE	1	XX	XX	2			3			4			5			6			7			<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>XX</td> <td>XX</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> </table>		NO.	DESCRIPTION	DATE	1	XX	XX	2			3			4			5			6			7			<p>CLIENT</p> <p>Washington Trust</p> <p>STORE #</p> <p>371 PUTNAM PIKE SUITE C-180 SMITHFIELD, RI</p> <p>LOCATION</p>		<p>WORK ORDER NUMBER(S)</p> <p>PROJECT MANAGER</p> <p>TOM MANDEVILLE</p> <p>NOTED</p> <p>DTM</p> <p>ARTIST</p> <p>3/16/23</p> <p>DATE</p> <p>SCALE</p> <p>1/8" = 1'-0"</p> <p>DRAWING NAME</p> <p>.4</p>	
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1. WHERE THE PLANS CALL FOR THE REMOVAL OF ANY ITEM, BOARD, PANEL, DEVICE, EQUIPMENT, ETC. IT IS UNDERSTOOD ALL ASSOCIATED ANCHORING SYSTEMS AND APPURTENANCES SUCH AS NAILS, BOLTS, STAPLING, AND/OR HARDWARE ARE TO BE REMOVED ACCORDINGLY.

2. THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING WALLS, WINDOWS, DOORS, FLOORS, CEILING, LIGHT FIXTURES, EQUIPMENT, ETC. WHICH ARE TO REMAIN AND SHALL PREVENT DAMAGE DURING ALL CONSTRUCTION PHASES.
3. NO NAIL FILING OR SURFICIAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER.
4. DUCTWORK DRAWINGS DO NOT SHOW ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING, ETC. CONDUIT SHALL VARY THE SIZE FROM TO BECOME ETC. CONDUIT SHALL VARY WITH EXISTING CONDITIONS INCLUDING ALL SUCH ITEMS IN CEILING AND WALLS.

2. IN COORDINATION WITH MECHANICAL AND ELECTRICAL ENGINEER, REMOVE AND MAKE SAFE ALL EXISTING ELECTRICAL, DATA SECURITY CIRCUITS, CONDUITS, WIRING AND/OR EQUIPMENT AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE NEW EQUIPMENT.

3. REFER TO ALL DRAWINGS FOR EXACT SCOPE OF MECHANICAL, ELECTRICAL AND PULPING CEILING DEMOLITION.



A. AUTIELLO
CONSTRUCTION
FREDERICKS BRIDGES
ALLEN YORK
NEW YORK NEW YORK

SCALE	DATE B.T.
AS NOTED	RGR /

DEMOLITION
CEILING PLAN
AND NOTES

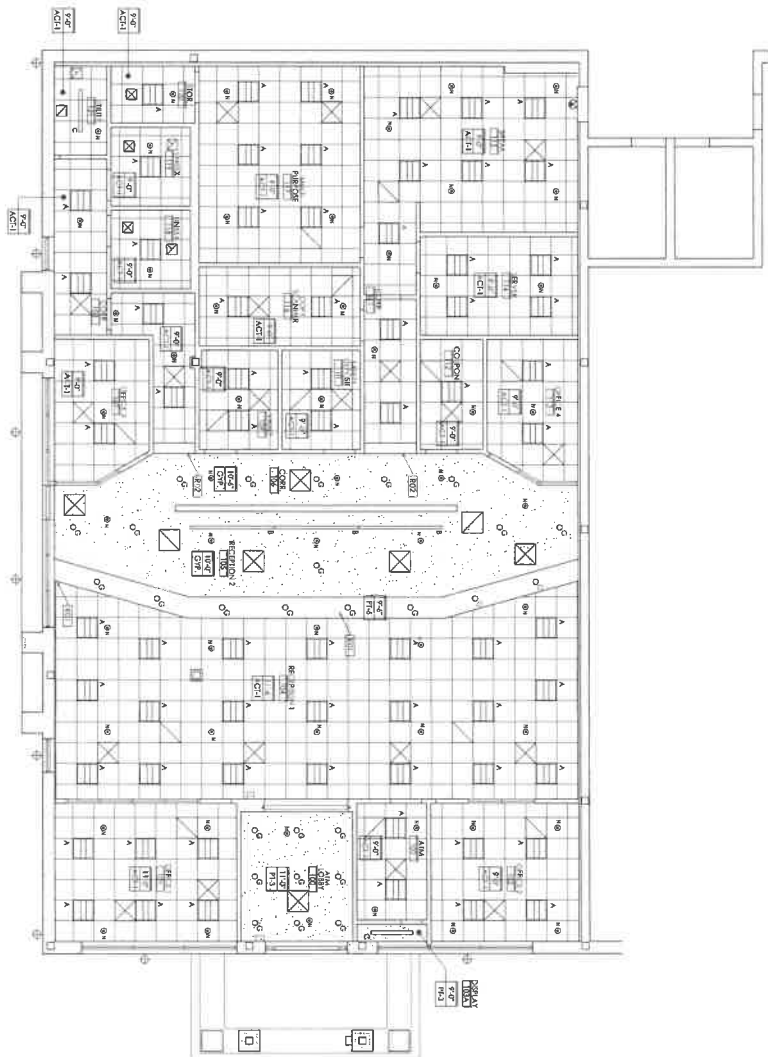
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- A. **STEP 1:** STUD A 1/2" O.C. WITH 1" CRYSAL ROADS EACH SIDE. PROVIDE 1/2" CRYSAL ROADS ON THE EXTERIOR AND INTERIOR AND CRYSAL ROADS TO 1/2" X 1/2" JOINTS. BRACE TO DECK.
- B. **STEP 2:** STUD A 1/2" O.C. WITH 1" CRYSAL ROADS EACH SIDE. PROVIDE 1/2" CRYSAL ROADS ON THE EXTERIOR AND INTERIOR AND CRYSAL ROADS TO 1/2" X 1/2" JOINTS. BRACE TO DECK.
- C. **STEP 3:** STUD A 1/2" O.C. WITH 1" CRYSAL ROADS EACH SIDE. PROVIDE 1/2" CRYSAL ROADS ON THE EXTERIOR AND INTERIOR AND CRYSAL ROADS TO 1/2" X 1/2" JOINTS. BRACE TO DECK.
- D. **STEP 4:** STUD A 1/2" O.C. WITH 1" CRYSAL ROADS EACH SIDE. PROVIDE 1/2" CRYSAL ROADS ON THE EXTERIOR AND INTERIOR AND CRYSAL ROADS TO 1/2" X 1/2" JOINTS. BRACE TO DECK.

1. A 16-in. (40.6-cm) wide ceiling track shall provide a 30-mm (1.18-in) spaced of 475 and a smaller development of 3.4-6.0, all 16-in. (40.6-cm) track shall be cast in place concrete.
2. A 16-in. (40.6-cm) wide ceiling track shall provide a 30-mm (1.18-in) spaced of 475 and a smaller development of 3.4-6.0, all 16-in. (40.6-cm) track shall be cast in place concrete.
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4. A 16-in. (40.6-cm) wide ceiling track shall provide a 30-mm (1.18-in) spaced of 475 and a smaller development of 3.4-6.0, all 16-in. (40.6-cm) track shall be cast in place concrete.
5. Any subcontractor and design consultant of this project shall be responsible for the condition of the subgrade to accept the load and not be responsible for any.
6. Confirm increment and quantity of this track with report.





1 REFLECTED CEILING PLAN
SCALE 3/16" = 1'-0"

GENERAL CEILING NOTES

1. CEILING SHALL BE SUSPENDED FROM STRUCTURAL STEEL FRAMING.
2. SEE ELEVATION FOR LOCATION OF ALL HOLE AND SMOKE DETECTOR, SMOKE, HEAT SENSORS AND OTHER FIRE ALARM DEVICES.
3. SEE ELEVATION FOR LOCATION OF ALL EXHAUST FANS.
4. SEE ELEVATION FOR LOCATION OF ALL LIGHT FIXTURES.

GENERAL LIGHTING NOTES

1. CARRY ALL INTERIOR SWITCHES AS SHOWN.
2. PROVIDE PHOTOCELL, AND TRIGGER FOR ALL EXTERIOR LIGHTING.

KEYED CEILING PLAN NOTES

1. SEE ELEVATION FOR LOCATION OF ALL EXHAUST FANS.
2. SEE ELEVATION FOR LOCATION OF ALL EXHAUST FANS.

GENERAL CEILING FINISHES

1. SEE ELEVATION FOR LOCATION OF ALL EXHAUST FANS.



McGeorge
Architecture Interiors
18 First Avenue
Suite 200
Baltimore, MD 21201
Tel: 410.381.9000
Fax: 410.381.9001
www.mcgeorgeinteriors.com
info@mcgeorgeinteriors.com

Client Acceptance and Authorization to Proceed

☐ Approved with our Modification
☐ Approved As Noted
☐ Requires Revision

Name & Title: _____ Date: _____

Signature: _____

THE WASHINGTON TRUST COMPANY
371 PUNYA PIKE
SMITHFIELD, RI 02917

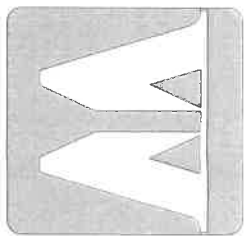
AAUTIELLO
ARCHITECTS
1000 N. 10TH STREET
PHILADELPHIA, PA 19107
Tel: 215.595.1000
Fax: 215.595.1001
www.aautello.com

McGeorge
Architecture Interiors
18 First Avenue
Suite 200
Baltimore, MD 21201
Tel: 410.381.9000
Fax: 410.381.9001
www.mcgeorgeinteriors.com
info@mcgeorgeinteriors.com

DATE: 04.01.20
BY: [Signature]
CHECKED: [Signature]
DATE: 04.01.20
BY: [Signature]

PROJECT NO: A2.1

ISSUED FOR PERMIT & CONSTRUCTION



THE WASHINGTON TRUST COMPANY

371 PUTNAM PIKE SMITHFIELD, RHODE ISLAND 02917

PROJECT TEAM:

CLIENT:
WASHINGTON TRUST
22 BROAD STREET
WESTERY, RI 02891

CONSTRUCTION MANAGER:
A. AUJELLO CONSTRUCTION
125 CARRISBROOK STREET
CRANFORD, RI 02922

CIVIL ENGINEER:
DIPRETE ENGINEERING
90 BROADWAY
NEWPORT, RI 02840

ARCHITECT:
MCGEORGE ARCHITECTURE INTERIORS, LLC
18 FIFTH AVENUE
EAST GREENWICH, RI 02818

MEP ENGINEER:
FRANK ZAINO & ASSOCIATES, INC.
PO BOX 57
125 WASHINGTON STREET
NORTH STONINGTON, CT 06359

T: 603.535.5337
F: 603.453.1000

PROJECT SCOPE:

THE SCOPE IS GENERALLY DEFINED AS AN INTERIOR RENOVATION OF A SINGLE TENANT SPACE FOR A NEW BRANCH BANK FOR THE WASHINGTON TRUST COMPANY, LOCATED AT 371 PUTNAM PIKE IN SMITHFIELD, RHODE ISLAND. THE FACILITY IS APPROXIMATELY 4218 S.F.

APPLICABLE CODES: REFER TO SHEET A02

DRAWING LIST:

ARCHITECTURAL:
A00 COVER SHEET AND NOTES
C01 DEVIATION PLAN
C02 DEVIATION PLAN

MECHANICAL:
M01 MECHANICAL LEGEND AND SYMBOLS
M02 MECHANICAL DEVIATION PLAN
M03 MECHANICAL DEVIATION PLAN
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M100 MECHANICAL DEVIATION PLAN

MEP ENGINEER:
FRANK ZAINO & ASSOCIATES, INC.
PO BOX 57
125 WASHINGTON STREET
NORTH STONINGTON, CT 06359
T: 603.535.5337
F: 603.453.1000



Client Acceptance and Authorization to Proceed

☐ Approved with our Modification
☐ Approved As Noted
☐ Requires Revision

Name & Title: _____ Date: _____

Signature: _____

THE WASHINGTON TRUST COMPANY
SMITHFIELD, RI 02917

AUJELLO
ARCHITECTS
125 CARRISBROOK STREET
CRANFORD, RI 02922
T: 401-946-4783
F: 401-946-4783

COVER SHEET
AND NOTES

DATE: 04.01.23
BY: [Signature]
CHECKED: [Signature]
DATE: 04.01.23

A0.0

ISSUED FOR PERMIT & CONSTRUCTION

[illegible]

3 Use wet floor caution

2 dimmable light switch

1 CPD

0 cross paths only

+ occupancy sensor

X HVAC supply grille

□ HVAC return grille

① Thermostat

② occupancy sensor

LIFE SAFETY LEGEND:

① speaker/micro

② alarm

③ smoke detector

④ beam tripper

ELECTRICAL LEGEND:

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	3/4\"		1\"
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[illegible][illegible]

3. ALL CONTRACT CONDITIONS/CLAUSES ARISING FROM THE WORK SHALL VEST THE SITE WITH THE GENERAL CONTRACTOR. OWNER AND ARCHITECT TO REVIEW THE EXISTING CONDITION AND PROPOSED SCOPE OF WORK PRIOR TO THE COMMENCEMENT OF THE PROJECT. ANY WORK OF WORK DISCLOSED ON THE PLANS, SPECIFICATIONS OR ANY OTHER DOCUMENTS OF WORK DISCLOSED FOR THE FAILURE TO COMPLY WITH THE CONTRACT SHALL NOT BE CONSIDERED AN OBTAINMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ATTENTION OF THE ARCHITECT IMMEDIATELY TO THE MODIFICATION OF ANY CONTRACT PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1. WHERE THE PLAYS CALL FOR THE REMOVAL OF ANY ITEM, UNDERGROUND OR SURFACE, THE REMOVAL OF THE ITEM AND APPROPRIATELY SUCH AS WALL, SOLID, SLABBING, AND/OR MEMBERS ARE TO BE REMOVED ACCORDING TO THE GENERAL CONTRACTOR SHALL PROVIDE ALL EXISTING WALLS, WINDOWS, DOORS, FLOORS, CEILING, LIGHT FIXTURES, REFRIGERATOR, ETC. SHALL BE TO REMAIN AND PROTECT DAMAGE DURING ALL CONSTRUCTION PHASES.
2. NO PLAN DRAWING OR STRUCTURAL MEMBERS ARE TO BE REMOVED AND/OR STRUCTURAL ENHANCE.
3. DISPOSITION DRAWINGS DO NOT SHOW ALL EXISTING WALLS. THE SITE PERSON TO MONITOR TO MONITOR THAT ALL EXISTING CONSTRUCTION INCLUDING ALL SUCH BEAD OF CHANGES AND WALLS.

1. ALL MECHANICAL, ELECTRICAL, PIPING, AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND STANDARDS. COORDINATE ALL WORK WITH ENGINEERING DRAWINGS.
2. ALL CONTRACTORS SHALL VERIFY ALL EXISTING WORK CONDITIONS, SUCH AS DIMENSIONS, AT THE SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DISCREPANCIES SHALL BE CORRECTED BEFORE PROCEEDING WITH THE WORK.
3. ALL CONTRACTORS SHALL VERIFY ALL EXISTING WORK AND/OR SCALE DRAWINGS. DIMENSIONS SHALL COVER LARGE SCALE DETAILS SHALL COVER OVER SMALL SCALE DETAILS.
4. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND STANDARDS FOR CONSTRUCTION AND BUILDING CODES.
5. BRACING WALL CONSTRUCTION THIS IS PART OF THE CONSTRUCTION PLAN. ONE, DO NOT USE OTHER THAN CONSTRUCTION PLANS TO VERIFY WALL TYPES FOR CONSTRUCTION.

1. VARY ANCHO OF ALL EQUIPMENT, DIRECTION, PHASE AND LOCATION OF ALL WORK TO AVOID COLLISIONS AND/OR CONFLICT.
2. SWITCH PAGING ON PLANS IS DISSEMINATING ONLY A BEHAVIOR, VERTICALLY, AND SWITCHES AND DEVICES ARE NOT OCCUR ON THE SAME WALL.
3. AFFECTED CORNER PLANS IS AFFECTED FOR DISSEMINATING OF ROUTES, CHANGE LOCATIONS, AND COORDINATE COORDINATE ALL WORK WITH ENGINEERING DRAWINGS.
4. DO NOT EFFECTIVE WORKING TIMES AND OTHER RESOURCES SHOULD NOT BE INBUILT FOR FEDERAL STATE, LOCAL, STATES, COORDINATE ALL WORK WITH ENGINEERING DRAWINGS.

1. ALL WALL, AND CEILING, FINISHES TO HAVE CLASS 1 FLAME SPREAD RATING.
2. FLOOR SPREAD RATING OF ALL INTERIOR FLOOR COVERINGS TO BE 0.21 OR LESS.
3. ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES.
4. WHERE NEW WORK CONNECTS WITH EXISTING, FINISHING CONTRACTOR SHALL DO ALL NECESSARY CLIPPING, TRIMMING AND PATCHING. HE SHALL FINISH ALL NECESSARY LACERS AND MEMBERS FOR THIS WORK, WHETHER OR NOT SHOWN OR SPECIFIED.
5. WORKMANSHIP SHALL BE THE BEST CLASS IN EVERY RESPECT WITH ALL MEMBERS EXACTLY SMOOTH AND SMOOTHLY FINISHED ON BOTH SIDES AND JOINTS.
6. PROTECT ALL WORK FINISHED UNDER THIS SECTION AND ALL ADJACENT WORK AND MATERIALS WITH SUITABLE PLASTER OR OTHER PROTECTIVE MATERIALS.

1. 6" SMALL CORRUGATE IN WALL, RIGIDNESS OF EQUIPMENT TO BE MAINTAINED THROUGHOUT. EQUIPMENT TO BE INSTALLED ON TOP OF TRUSS.
2. ALL MATERIALS AND FINISHES SHALL BE IN ACCORDANCE WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SPECIFICATIONS. MATERIALS SHALL BE INSTALLED IN THE FIELD PRIOR TO CONSTRUCTION OF THE BUILDING.
3. CAREFUL CONTRACTOR AND MATERIALS CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO INSTALLATION.
4. ALL CRITICAL MATERIALS TO BE INSTALLED, DELIVERED, AND INSTALLED BY THE MATERIALS CONTRACTOR.
5. MATERIALS CONTRACTOR SHALL SUBMIT MATERIALS FOR APPROVAL BY THE ARCHITECT AND ENGINEER. MATERIALS CONTRACTOR SHALL PROVIDE NECESSARY CUTOFFS. THE WORK SHALL BE COMPLETED WITHIN THE ELECTRICAL CONTRACTOR'S COORDINATION PERIODS AND CONFORMS WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL SPECIFICATIONS.

1. BIDS SHALL BE BROKEN DOWN, BY DIVISION OR AS APPROPRIATE, SUCH AS A SCHEDULE OF VALUES, FOR CLARITY AND FOR THE IDENTIFICATION OF VALUE ENGINEERING DECISIONS. SHOULD THAT BE NECESSARY, ALL BIDDERS SHALL PROVIDE A LIST OF TRADES THAT SHALL BE SUBCONTRACTED AS OPPOSED TO BE FURNISHED.

9. SAMPLE OF ALL FINISH COLORS SPECIFIED SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

9. WHERE WOOD SURFACES ARE TO BE PAINTED, WOOD IS TO BE PROPERLY SEALED, Sanded, AND SHOP PRIMERED BEFORE PAINTING. COAT BY CABINET/PAINTER CONTRACTOR.

371 PUTNAM PIKE
SMITHFIELD, RI 02917

☒ **A. AUTIELLO**

COMBUSTION
 Byproducts
 Major Work
 Please print name
 and address in
 full

[illegible]

HO	DATE	EDUCATION
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SCALE:	CRASH
AS NOTED	RCR / N/A
W	ROW NO:

GRAPHIC SYMBOL

ABBREVIATIONS,
AND NOTES

1000

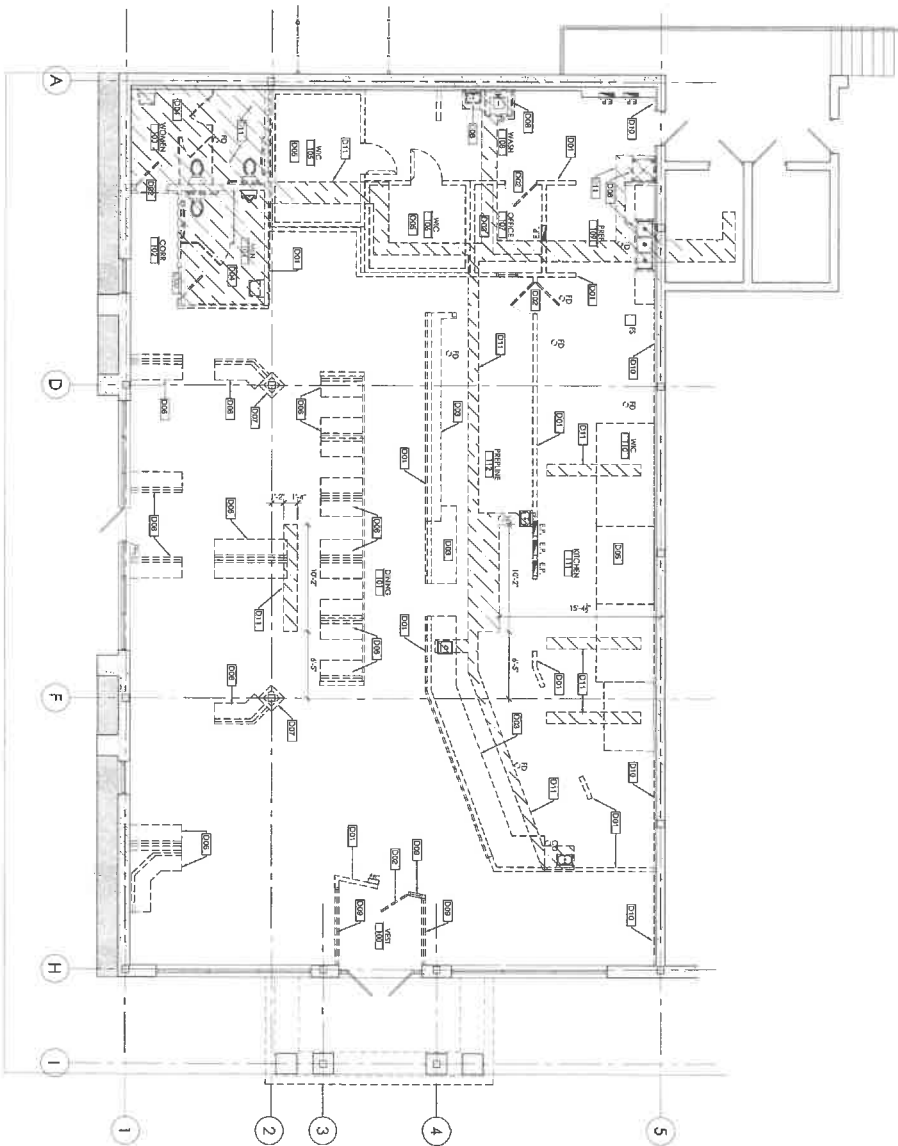
A01

1.00

ISSUED FOR PERMIT & CONSTRUCTION

DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



GENERAL DEMOLITION NOTES

1. WHERE THE PLANS CALL FOR THE REMOVAL OF ANY ITEM, BOARD, PART, OR EQUIPMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE LOCATION AND REMOVAL OF THE ITEM AS SHOWN ON THE PLANS.
2. THE GENERAL CONTRACTOR SHALL PROTECT ALL REMAINING WALLS, FLOORS, CEILING, PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
3. NO MAIN BEARING OR STRUCTURAL MEMBER ARE TO BE REMOVED, ALTERED, OR MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
4. DEMOLITION DRAWINGS DO NOT SHOW ALL REMAINING WALLS, FLOORS, CEILING, PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.

DEMOLITION PLAN NOTES

1. IF THE DEMOLITION WORK IS TO BE COMPLETED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE LOCATION AND REMOVAL OF THE ITEM AS SHOWN ON THE PLANS.
2. IN COORDINATION WITH THE ARCHITECT AND ELECTRICAL ENGINEER, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
3. REFER TO WALL DRAWINGS FOR BACK ROOM OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
4. REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
5. REMOVAL OF DEMOLITION SHALL BE COMPLETED BY THE CONTRACTOR.

KEYED DEMOLITION NOTES

- 501 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 502 REMOVE EXISTING DOOR AND FRAME.
- 503 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 504 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 505 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 506 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 507 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 508 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 509 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 510 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.
- 511 REMOVE EXISTING PARTITION WALLS, REMOVE AND MAKE LIFT ALL REMAINING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS, ETC. WHICH ARE TO REMAIN AND SHALL PROVIDE DRAINAGE FOR ALL CONSTRUCTION PHASES.



McGeorge
Architecture Interiors
1010 1st Avenue, Suite 200
Seattle, WA 98101
Phone: (206) 461-1234
Fax: (206) 461-1235
www.mcgeorgeinteriors.com

Client Acceptance and Authorization to Proceed

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☐ Approved As Noted
☐ Requires Revision

Name & Title: _____ Date: _____

Signature: _____

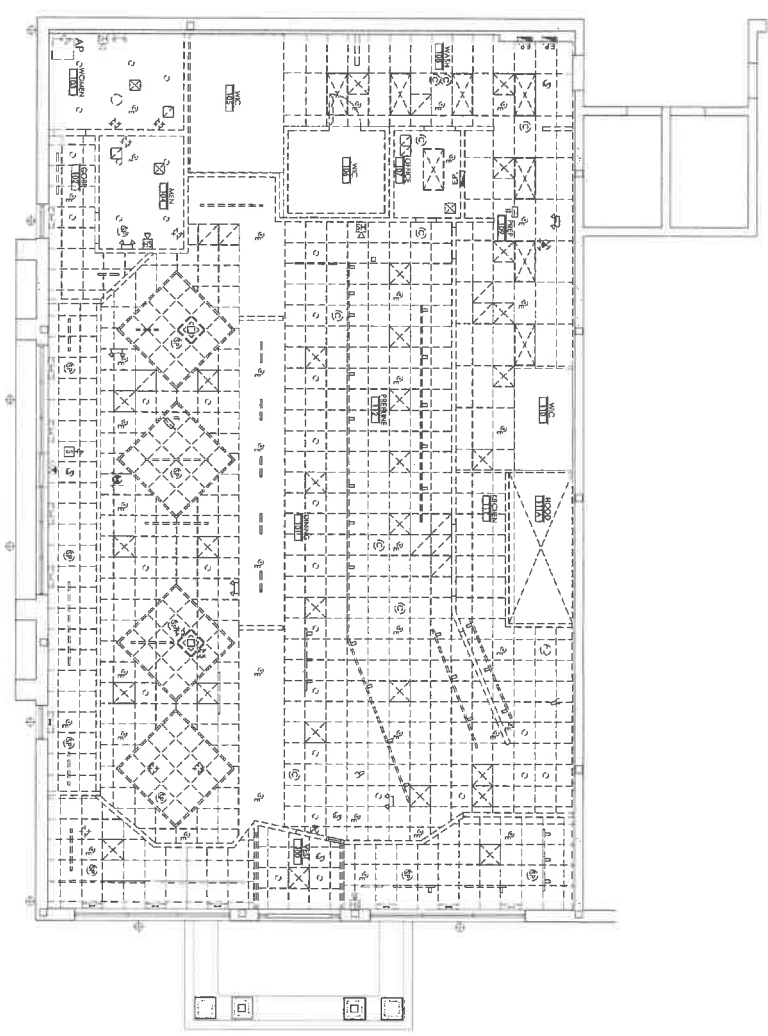
THE WASHINGTON
TRUST COMPANY
311 FIFTH AVE.
SUITE 1000
SEATTLE, WA 98101
(206) 461-1234



DEMOLITION PLAN
SLAB DEMOLITION
AND NOTES

D1.1

DESIGNED FOR PRINT & CONSTRUCTION



1 DEMOLITION CEILING PLAN
SCALE 3/8" = 1'-0"

GENERAL CEILING DEMOLITION NOTES

1. WHERE THE PLANS CALL FOR THE REMOVAL OF ANY RISER, ROOF, PANEL, DECK, CEILING, ETC., IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL REMOVE THE SAME AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK.
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5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK.

DEMOLITION CEILING PLAN NOTES

1. IT IS THE DESIGN INTENT TO DEMOLISH THE ENTIRE CEILING SYSTEM TO ALL EXISTING PANELS, CEILING LIGHTING, FOR COORDINATION, SCOPED BY THE CONTRACTOR.
2. IN COORDINATION WITH THE ARCHITECT AND MECHANICAL ENGINEER, REMOVE AND REPAIR ALL EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS TO ALL EXISTING PANELS, CEILING LIGHTING, FOR COORDINATION, SCOPED BY THE CONTRACTOR.
3. REFER TO ALL EXISTING CEILING SYSTEMS OF MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION.



McGeorge
Architecture Interiors



STATE OF WASHINGTON
PROFESSIONAL ENGINEER
No. 123456
Exp. 12/31/2025

Client Acceptance and Authorization to Proceed

☐ Approved with out modification
☐ Approved As noted
☐ Requires Revision

Name & Title: _____ Date: _____

Signature: _____



THE WASHINGTON
TRUST COMPANY
371 FIFTH AVE
SEATTLE, WA 98101



AARTIELLO
ARCHITECTS
1000 4TH AVE
SEATTLE, WA 98101



- 3¢ STEEL STUD @ 16" O.C. WITH 1" CROWN BOARD EACH SIDE, PROVIDE 12" MIN. OVERLAP OF STUDS AND 12" MIN. OVERLAP OF BOARDS. EXTEND FRAMING AND CROWN BOARD TO 12" MIN. PROVIDE NAIL TO DECK.
- 3¢ STEEL STUD @ 16" O.C. WITH 1" CROWN BOARD EACH SIDE, PROVIDE 12" MIN. OVERLAP OF STUDS AND 12" MIN. OVERLAP OF BOARDS. EXTEND FRAMING AND CROWN BOARD TO 12" MIN. PROVIDE NAIL TO DECK.
- 3¢ STEEL STUD @ 16" O.C. WITH 1" CROWN BOARD EACH SIDE, PROVIDE 12" MIN. OVERLAP OF STUDS AND 12" MIN. OVERLAP OF BOARDS. EXTEND FRAMING AND CROWN BOARD TO 12" MIN. PROVIDE NAIL TO DECK.
- 3¢ STEEL STUD @ 16" O.C. WITH 1" CROWN BOARD EACH SIDE, PROVIDE 12" MIN. OVERLAP OF STUDS AND 12" MIN. OVERLAP OF BOARDS. EXTEND FRAMING AND CROWN BOARD TO 12" MIN. PROVIDE NAIL TO DECK.



McGeorge
Architecture Interiors
18 Fifth Avenue
East Greenwich, Rhode Island 02816
401.398.7600
mcginter@aol.com
mcginter@mcginter.com 401.315.0418
info@mcginter.com 401.315.0418
mcginter@mcginter.com 401.315.0418

Client Acceptance and Authorization to Proceed

- ☐ Approved with our Modification
☐ Approved As Noted
☐ Requires Revision

Signature: _____



**THE WASHINGTON
TRUST COMPANY**
371 PUTNAM PIKE
SMITHFIELD, RI 02917



Available Color **Actual Price** **Actual Price**
128 Dashed 60 128 Dashed 60 128 Dashed 60
Between 10 0000 Between 10 0000 Between 10 0000

FLOOR PLAN
AND NOTES

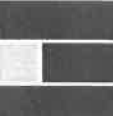
A1.1

ISSUED FOR PERMIT & CONSTRUCTION

FINISH SCHEDULE CONTINUED					
KEY	DESCRIPTION	MANUFACTURER	PRODUCT	CO. OR FINISH	REMARKS
S01	SLAT ROPELINE TIE	UNITED SLAT CO. CONTROL	ELECTR., 120/121 9/16" TIE	E-485	BT UNBED SLAT CO. CONTROL PRODUCTS
S51	120 O-RINGS	CANADA	3120 O-RING CO. LECTRUM	BR-00000	USED AT COILS, SEE E-19 TO E-24 AS
S51	SLATS		FACTORY AFTER SLATS	CL-54	USED AT WOOD FLOOR, SEE SCHEDULE
S51	BRANDON SLATS				BRANDON SLATS, 1/4" TO 1/2"
S52	BRANDON SLATS				CARRIED TO VCI
VCI-1	VINT COMPENSATION TIE	MANUFACTURE	BRIDGEMORE	7/17 VERBODEN SLAT	
WB-1	VINT WALL LAGE	JOSEPHINE		30 MINORAL RITE	
	VINT WALL LAGE	JOSEPHINE		30 MINORAL RITE	


GENERAL FINISH NOTES

1. In the order and during the final and more a final period of 423 and a final development of 15-30, address the new fabric and for clean or 1.
2. All finish and use required and suitable for the manufacturer's finish specifications and accessories.
3. All finish and use required and suitable for the manufacturer's finish specifications and accessories.
4. Confirm replacement and quality of 15% with 15%.



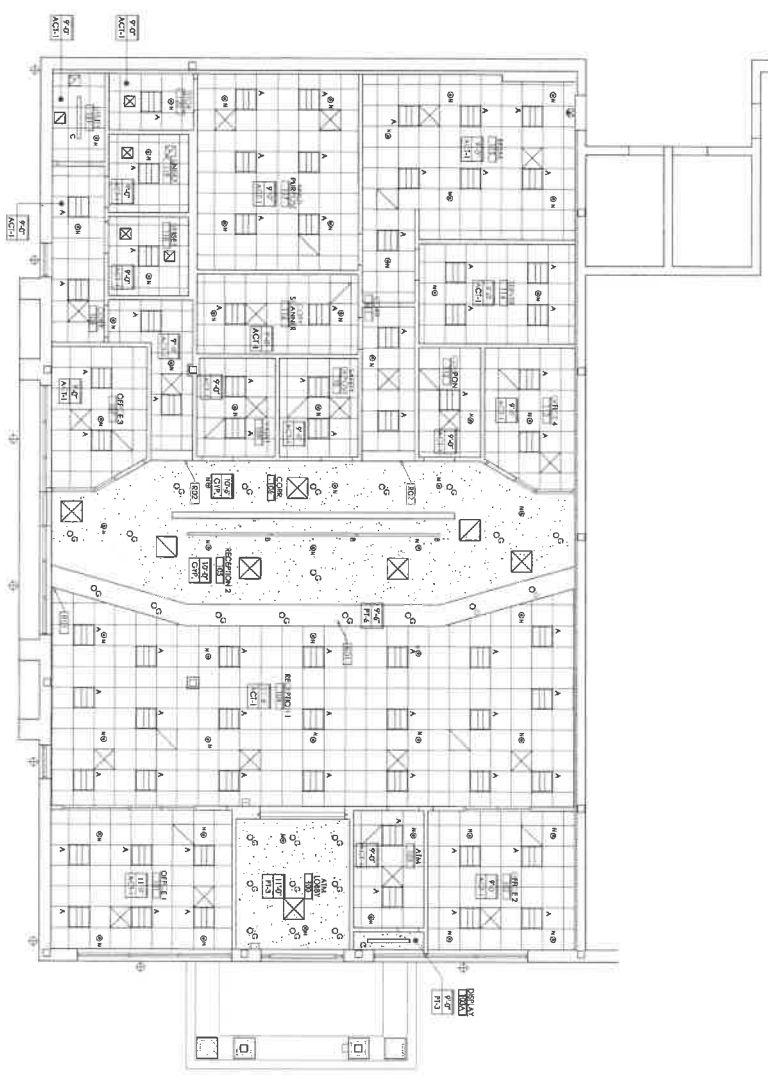
McGeorge
Architecture Interiors

1200 J Street, NW
Washington, DC 20004
202.338.6000
minteriors@mcgeorge.com or 800.533.6000
www.mcgeorgeinteriors.com or 1.800.533.6000



McGeorge Architecture Interiors is a member of the National Association of Architectural Record.





1 REFLECTED CEILING PLAN
SCALE 3/8" = 1'-0"

GENERAL CEILING NOTES

1. LIGHTING, MECHANICAL AND LIFE SAFETY INFORMATION IS NOT TO BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
2. SEE ELEC FOR LOCATION OF ALL RIGS AND SPACE FIXTURES.
3. SEE ELEC FOR LOCATION OF ALL RIGS AND SPACE FIXTURES.
4. SEE ELEC FOR LOCATION OF ALL RIGS AND SPACE FIXTURES.

GENERAL LIGHTING NOTES

1. CARRY ALL LIGHTING FIXTURES AS SHOWN.
2. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
3. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
4. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.

KEYED CEILING PLAN NOTES

1. CARRY ALL LIGHTING FIXTURES AS SHOWN.
2. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
3. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
4. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.

GENERAL CEILING FINISHES

1. CARRY ALL LIGHTING FIXTURES AS SHOWN.
2. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
3. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.
4. PROVIDE PHOTOCELL AND THERMOSTAT FOR ALL EXTERIOR LIGHTING.



McGeorge
ARCHITECTS
1001 CALLEWAT, WASHINGTON, D.C. 20004
202-638-1100
mcgeorgearchitects.com



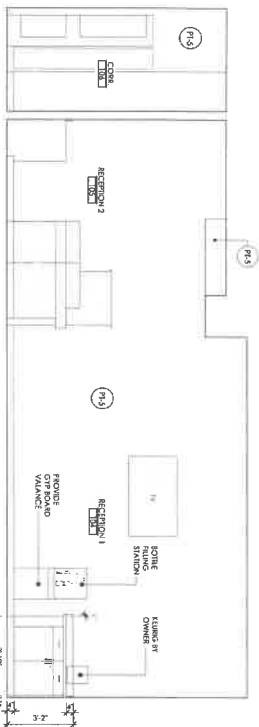
THE WASHINGTON TRUST COMPANY
SOUTHFIELD, MI 48034

AAUTELLO
ARCHITECTS
1001 CALLEWAT, WASHINGTON, D.C. 20004
202-638-1100
aautelloarchitects.com

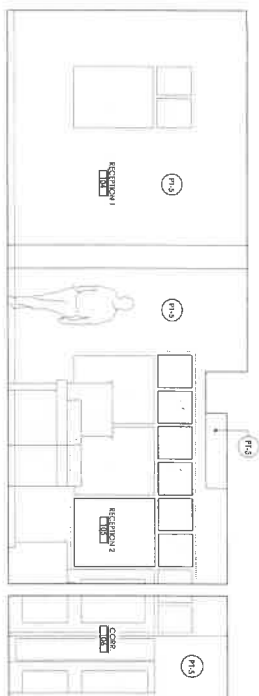
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DRAWN BY: J.E. / J.M.
CHECKED BY: J.E. / J.M.
DATE: 05.03.21

A2.1

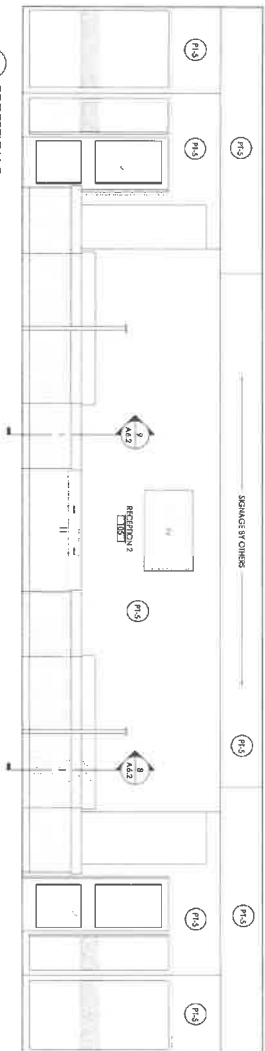
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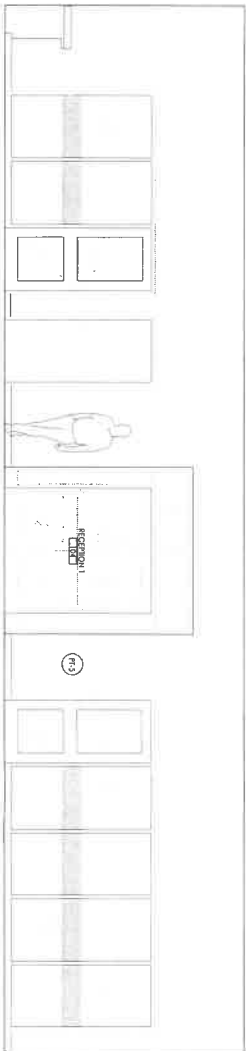
1 RECEPTION 1 AND RECEPTION 2
SCALE 1/8" = 1'-0"



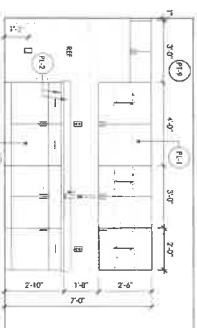
2 RECEPTION 1 AND RECEPTION 2
SCALE 1/8" = 1'-0"



3 RECEPTION 2
SCALE 1/8" = 1'-0"



4 RECEPTION 1
SCALE 1/8" = 1'-0"



5 BREAK ROOM
SCALE 1/8" = 1'-0"



McGeorge
Architecture Interiors
East Greenwich, Rhode Island 02818
mcgeorgeinteriors.com
mcgeorgeinteriors.com

Client Acceptance and Authorization to Proceed
☐ Approved with out Modification
☐ Approved As Noted
☐ Requires Revision
Name & Title: _____ Date: _____
Signature: _____



THE WASHINGTON
TRUST COMPANY
1000 15th Street, N.E.
SMITHFIELD, RI 02917

AUTIELLO
Architect
1000 15th Street, N.E.
SMITHFIELD, RI 02917

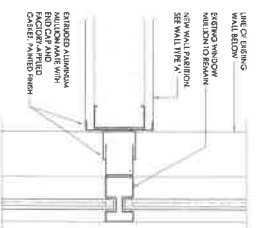
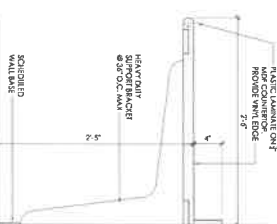
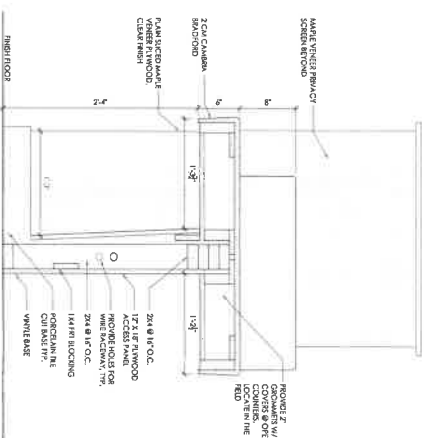
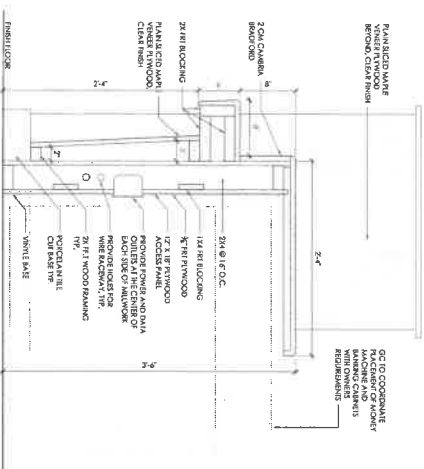
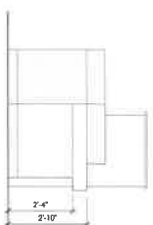
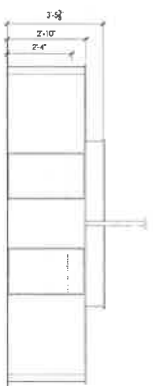
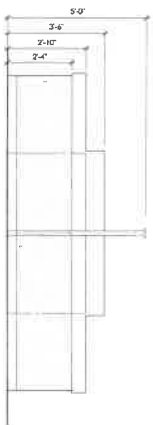
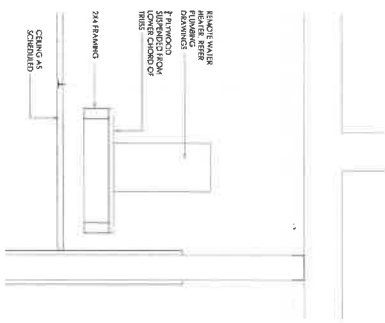
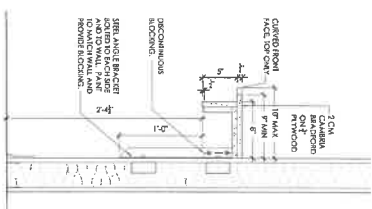
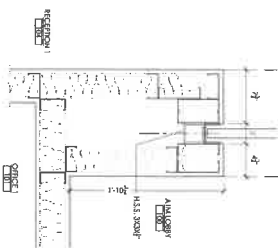
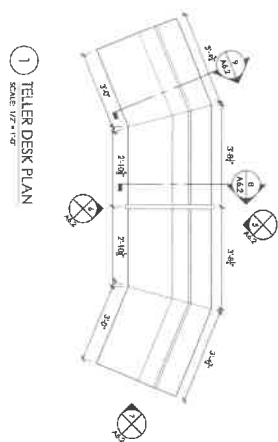
NO. DATE DESCRIPTION
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SCALE: AS SHOWN
DATE: 08/18/2020
BY: JLM

INTERIOR
ELEVATIONS
AND NOTES

A6.1

SCALE FOR PERMANENT CONSTRUCTION





NOTES:
1. EXISTING UPRIGHT SPRINKLES ABOVE CEILING TO REMAIN.
2. EXISTING PIPING IS SHOWN SCHEMATICALLY FOR REFERENCE.
CONTRACTOR TO VERIFY EXISTING PIPING LOCATIONS & SYSTEMS IN FIELD.

FZA PROJECT: PR-23-00509

FPD1.0

FIRE PROTECTION
DEMO PLAN

DATE: 04.13.23
BY: JRM/2023-05

THE WASHINGTON
TRUST COMPANY
321 RIVINGTON PLACE
SMITHFIELD, RI 02877

Client Acceptance and Authorization to Proceed

☐ Approved with out Modification
☐ Approved As noted
☐ Requires Revision

Name & Title: _____ Date: _____

Signature: _____

McGeorge
Architectural Interiors

1237
1237

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Architectural Interiors

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Architectural Interiors

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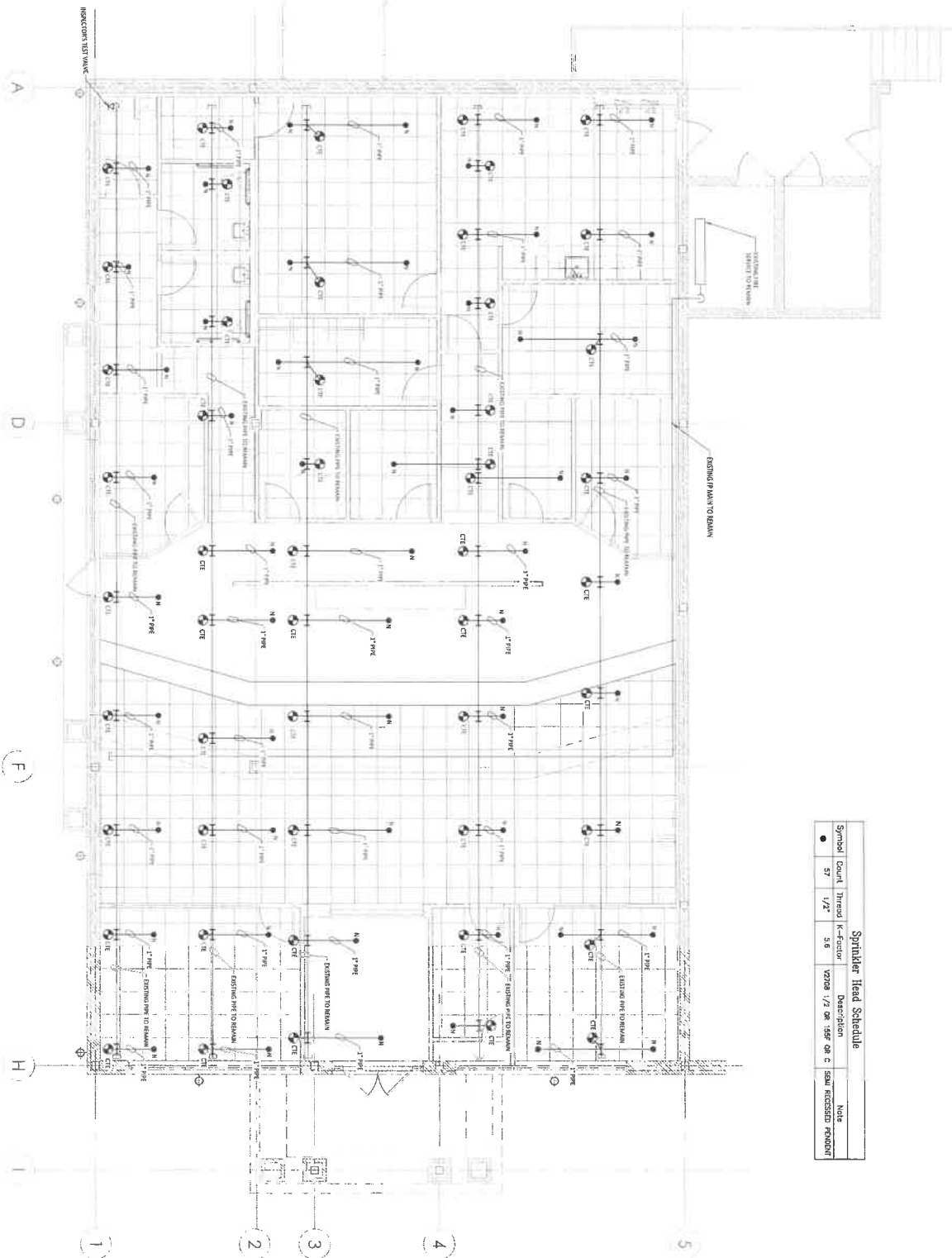
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1237
1237

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1237
1237

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Sprinkler Head Schedule					Note
Symbol	Count	Thread	K-factor	Description	
●	57	1/2"	5.6	K200 1/2" OR 150" OF C	SALE REQUIRED FOR INST

1 FIRE PROTECTION NEW WORK PLAN
SCALE: 1/8" = 1'-0"



FZA PROJECT: PR-23-00509

McGeorge
ARCHITECTS & ENGINEERS
East Greenwich, Rhode Island 02818
www.mcgeorge.com
mcgeorge.com

Michael Carl Peterson
No. 12397
Professional Engineer
Rhode Island
www.mcpeterson.com

ZAINO
100 Providence Avenue, Suite 200
North Scituate, RI 02890
www.zaino.com

THE WASHINGTON TRUST COMPANY
SMITHFIELD, RI 02917

AAVTECH
1000 Main Street
Providence, RI 02903

Client Acceptance and Authorization to Proceed

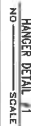
☐ Approved with our Modification
☐ Approved As Noted
☐ Requires Revision

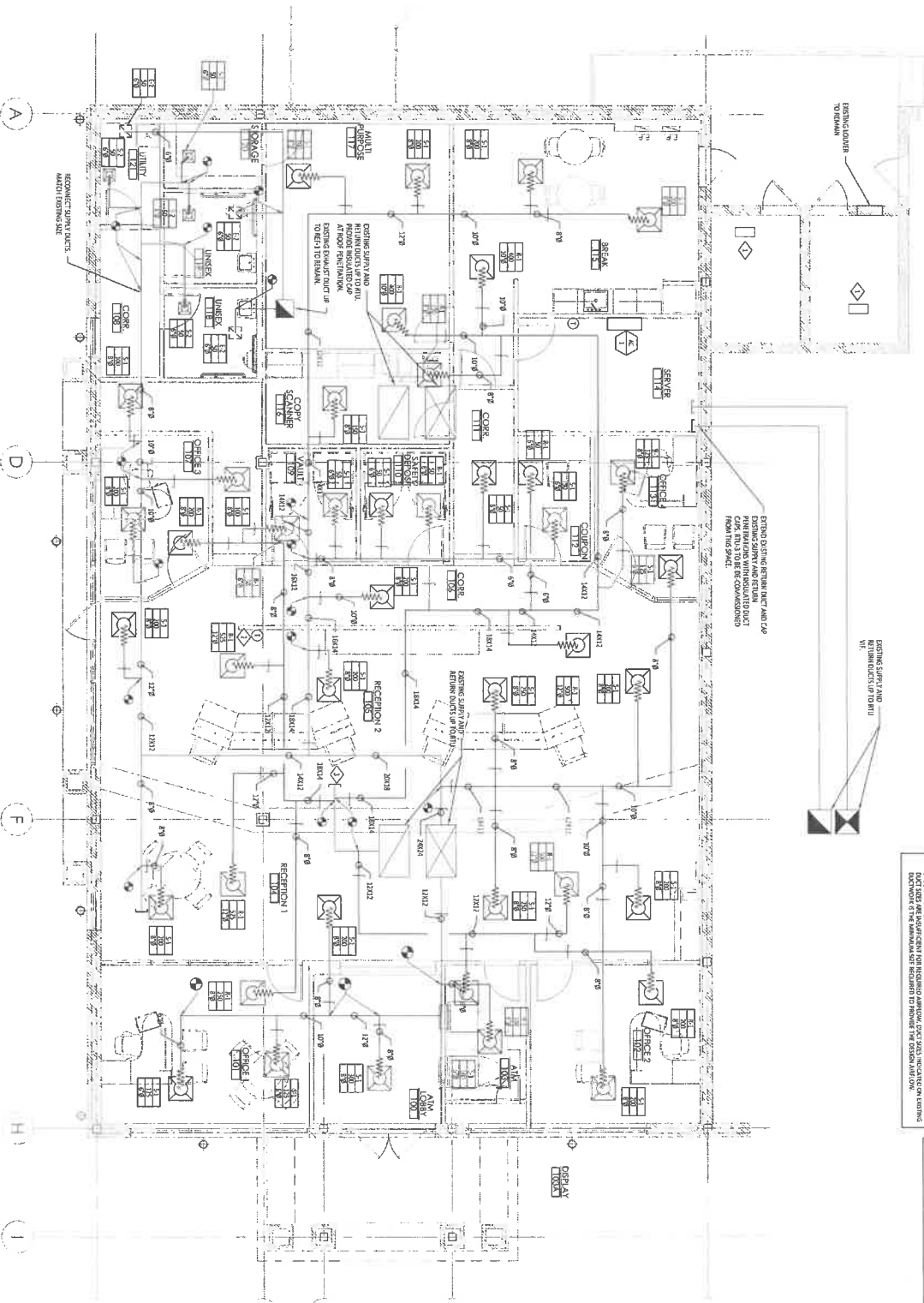
Name & Title: _____
Signature: _____

FP1.0

FIRE PROTECTION NEW WORK

DATE: 04.10.23
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 04.10.23





1 MECHANICAL NEW WORK PLAN
SCALE: 1" = 1'-0"

- ### GENERAL SHEET NOTES
1. PROJECT IS WORKING WITH EXISTING TENANT SPACE AND EXISTING CONDITIONS ARE SHOWN AS BEST PRACTICE. CONTRACTOR TO VERIFY THE SPACE PRIOR TO SUBMITTING BIDS.
 2. EXISTING SUPPLY AND RETURN AIRWAYS ARE TO REMAIN. CONTRACTOR TO VERIFY THE EXISTING SYSTEMS ARE TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
 3. CONTRACTOR TO VERIFY EXISTING DUCTWORK IS TO REMAIN. CONTRACTOR TO VERIFY EXISTING DUCTWORK IS TO REMAIN. CONTRACTOR TO VERIFY EXISTING DUCTWORK IS TO REMAIN. CONTRACTOR TO VERIFY EXISTING DUCTWORK IS TO REMAIN.

- ### KEYED SHEET NOTES
- ◆ EXISTING SUPPLY AND RETURN DUCTS UP TO 10" DIA.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 12" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 14" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 16" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 18" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 20" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 22" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 24" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 26" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 28" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 30" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 32" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 34" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 36" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 38" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 40" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 42" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 44" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 46" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 48" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 50" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 52" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 54" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 56" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 58" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 60" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 62" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 64" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 66" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 68" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 70" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 72" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 74" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 76" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 78" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 80" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 82" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 84" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 86" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 88" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 90" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 92" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 94" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 96" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 98" DIA. AND LARGER.
 - ◆ EXISTING SUPPLY AND RETURN DUCTS 100" DIA. AND LARGER.

FZA PROJECT: PR-23-00509

McGeorge
Architecture Interiors
1001 Pennsylvania Avenue, Suite 1000
Washington, DC 20004
202.462.1234
mci@mcgeorge.com
mcgeorge.com

ZAINO
ARCHITECTS
1001 Pennsylvania Avenue, Suite 1000
Washington, DC 20004
202.462.1234
zaino@zaino.com
zaino.com

THE WASHINGTON
TRUST COMPANY
1001 Pennsylvania Avenue, Suite 1000
Washington, DC 20004
202.462.1234
washingtontrust.com
washingtontrust.com

AAW
1001 Pennsylvania Avenue, Suite 1000
Washington, DC 20004
202.462.1234
aaw@aaw.com
aaw.com

Client Acceptance and Authorization to Proceed

☐ Approved with out Modification
☐ Approved As Noted
☐ Request Revision

Name & Title: _____

Signature: _____

AS NOTED
DATE: 04.12.23
BY: 2023.70

M1.0

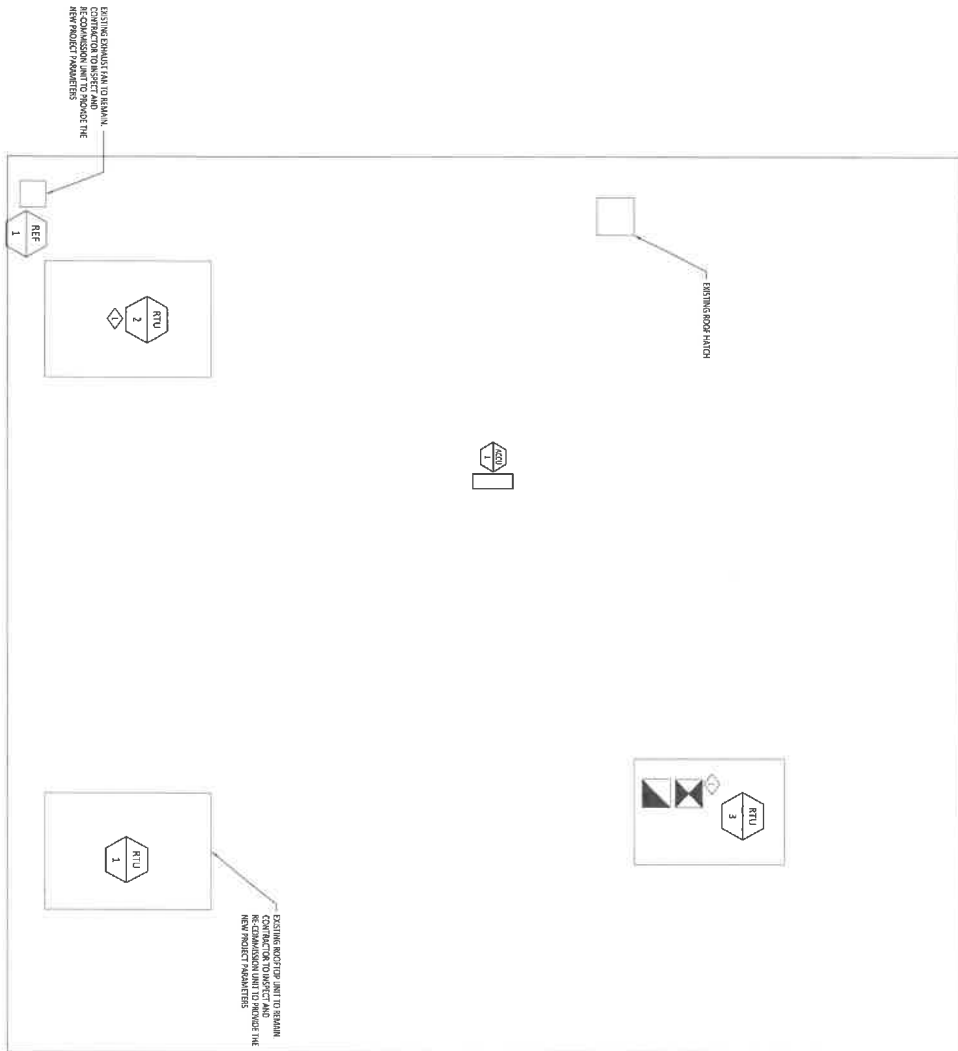
ADD FOR REVISION & CORRECTION

GENERAL SHEET NOTES

1. PROJECT IS WITHIN AN EXISTING EXHAUST SPACE AND EXISTING EXHAUST CHIMNEY ARE SHOWN AS REFERENCE FOR CONSTRUCTION TO ADD THE EXHAUST FROM THE SUBMITTING BLD.

KEYED SHEET NOTES

- EXISTING ROOF TOP UNIT TO BE COMMISSIONED FROM THIS SPACE



MECHANICAL ROOF PLAN

SCALE: 1/4" = 1'-0"

FZA PROJECT: PR-23-00509

McGeorge
Architecture Interiors

1011 13th St
Nashville, TN 37203
615.259.1300
mccgeorgeinteriors.com

Michael Carl Peterson
Principal Architect
No. 12345
Professional Seal

ZAINO
Architects
1011 13th St
Nashville, TN 37203
615.259.1300
zainoarchitects.com

THE WASHINGTON TRUST COMPANY
321 PINEAPPLE
SMITHFIELD, RI 02877

WVF

ARTISTILE

Project: No. 12345
Revision: 1

Client Acceptance and Authorization to Proceed

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☐ Approved As Noted
☐ Requires Revision

Name & Title: _____
Signature: _____

Scale: 1/4" = 1'-0"

MECHANICAL ROOF PLAN

M1.1

Sheet for Review & Construction

EXISTING ROOFTOP UNIT SCHEDULE														
UNIT NO.	UNIT TYPE	MODEL NUMBER	MANUFACTURER	COOLING CAPACITY (TONS)	SEER	ENERGY EFFICIENCY INDEX (EER)	CONDENSING COIL (INCHES)	CONDENSING FAN (HP)	CONDENSING FAN (RPM)	CONDENSING FAN (AMPS)	CONDENSING FAN (WATTS)	CONDENSING FAN (MOTOR TYPE)	CONDENSING FAN (MOTOR SIZE)	CONDENSING FAN (MOTOR SPEED)
101	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
102	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
103	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
104	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
105	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100

NOTES:
 1. ALL CONDENSING FAN MOTOR TO UNIT TO EXHAUST ALL CONDENSATION AND EXHAUST FLOW. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 2. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 3. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.

EXISTING EXHAUST FAN SCHEDULE									
UNIT NO.	UNIT TYPE	MODEL NUMBER	MANUFACTURER	COOLING CAPACITY (TONS)	SEER	ENERGY EFFICIENCY INDEX (EER)	CONDENSING COIL (INCHES)	CONDENSING FAN (HP)	CONDENSING FAN (RPM)
101	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
102	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
103	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
104	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
105	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175

NOTES:
 1. ALL CONDENSING FAN MOTOR TO UNIT TO EXHAUST ALL CONDENSATION AND EXHAUST FLOW. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 2. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 3. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.

SPLIT SYSTEM CONDENSING UNIT SCHEDULE (OUTDOOR UNIT)														
UNIT NO.	UNIT TYPE	MODEL NUMBER	MANUFACTURER	COOLING CAPACITY (TONS)	SEER	ENERGY EFFICIENCY INDEX (EER)	CONDENSING COIL (INCHES)	CONDENSING FAN (HP)	CONDENSING FAN (RPM)	CONDENSING FAN (AMPS)	CONDENSING FAN (WATTS)	CONDENSING FAN (MOTOR TYPE)	CONDENSING FAN (MOTOR SIZE)	CONDENSING FAN (MOTOR SPEED)
101	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
102	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
103	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
104	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
105	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100

NOTES:
 1. ALL CONDENSING FAN MOTOR TO UNIT TO EXHAUST ALL CONDENSATION AND EXHAUST FLOW. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 2. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 3. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.

SPLIT SYSTEM CONDENSING UNIT SCHEDULE (INDOOR)														
UNIT NO.	UNIT TYPE	MODEL NUMBER	MANUFACTURER	COOLING CAPACITY (TONS)	SEER	ENERGY EFFICIENCY INDEX (EER)	CONDENSING COIL (INCHES)	CONDENSING FAN (HP)	CONDENSING FAN (RPM)	CONDENSING FAN (AMPS)	CONDENSING FAN (WATTS)	CONDENSING FAN (MOTOR TYPE)	CONDENSING FAN (MOTOR SIZE)	CONDENSING FAN (MOTOR SPEED)
101	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
102	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
103	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
104	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100
105	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175	20	100	100	100	100

NOTES:
 1. ALL CONDENSING FAN MOTOR TO UNIT TO EXHAUST ALL CONDENSATION AND EXHAUST FLOW. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
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 3. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.

DIFFUSER/GRILLE/REGISTER SCHEDULE									
UNIT NO.	UNIT TYPE	MODEL NUMBER	MANUFACTURER	COOLING CAPACITY (TONS)	SEER	ENERGY EFFICIENCY INDEX (EER)	CONDENSING COIL (INCHES)	CONDENSING FAN (HP)	CONDENSING FAN (RPM)
101	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
102	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
103	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
104	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175
105	ROOFTOP	201000000	DAIKIN	42.5	750	1.1	16	1.5	175

NOTES:
 1. ALL CONDENSING FAN MOTOR TO UNIT TO EXHAUST ALL CONDENSATION AND EXHAUST FLOW. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 2. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.
 3. EXHAUST FLOW MUST BE MAINTAINED AT ALL TIMES TO PREVENT FLOODING.

McGeorge
Architecture Interiors

10000 McGeorge Drive, Suite 200
McGeorge, CA 95954
Phone: (916) 434-1234
Fax: (916) 434-1235
www.mcgeorge.com

ZAINO

10000 Zaino Drive, Suite 200
Zaino, CA 95954
Phone: (916) 434-1234
Fax: (916) 434-1235
www.zaino.com

THE WASHINGTON
TRUST COMPANY

30000 The Washington Trust Company
The Washington Trust Company, CA 95954
Phone: (916) 434-1234
Fax: (916) 434-1235
www.thewashingtontrustcompany.com

FZA PROJECT: PR-23-00509

Client Acceptance and Authorization to Proceed

☐ Approved with out Modification

☐ Approved with Modification

☐ Requires Revision

Name & Title: _____

Date: _____

Signature: _____

10000 McGeorge Drive, Suite 200
McGeorge, CA 95954
Phone: (916) 434-1234
Fax: (916) 434-1235
www.mcgeorge.com

PART 1 - GENERAL INSTRUCTIONS FOR RESEARCH WORK

1.1 GENERAL REQUIREMENTS:

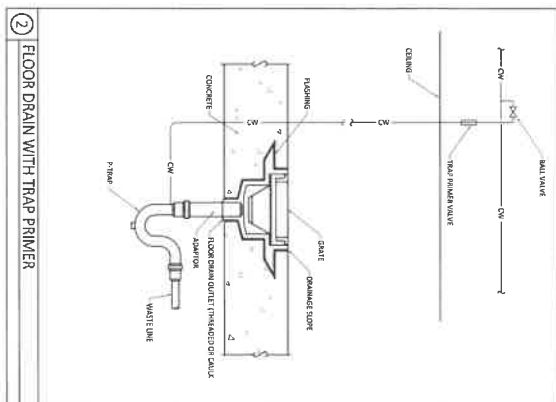
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A. ALL FOLLOWS C

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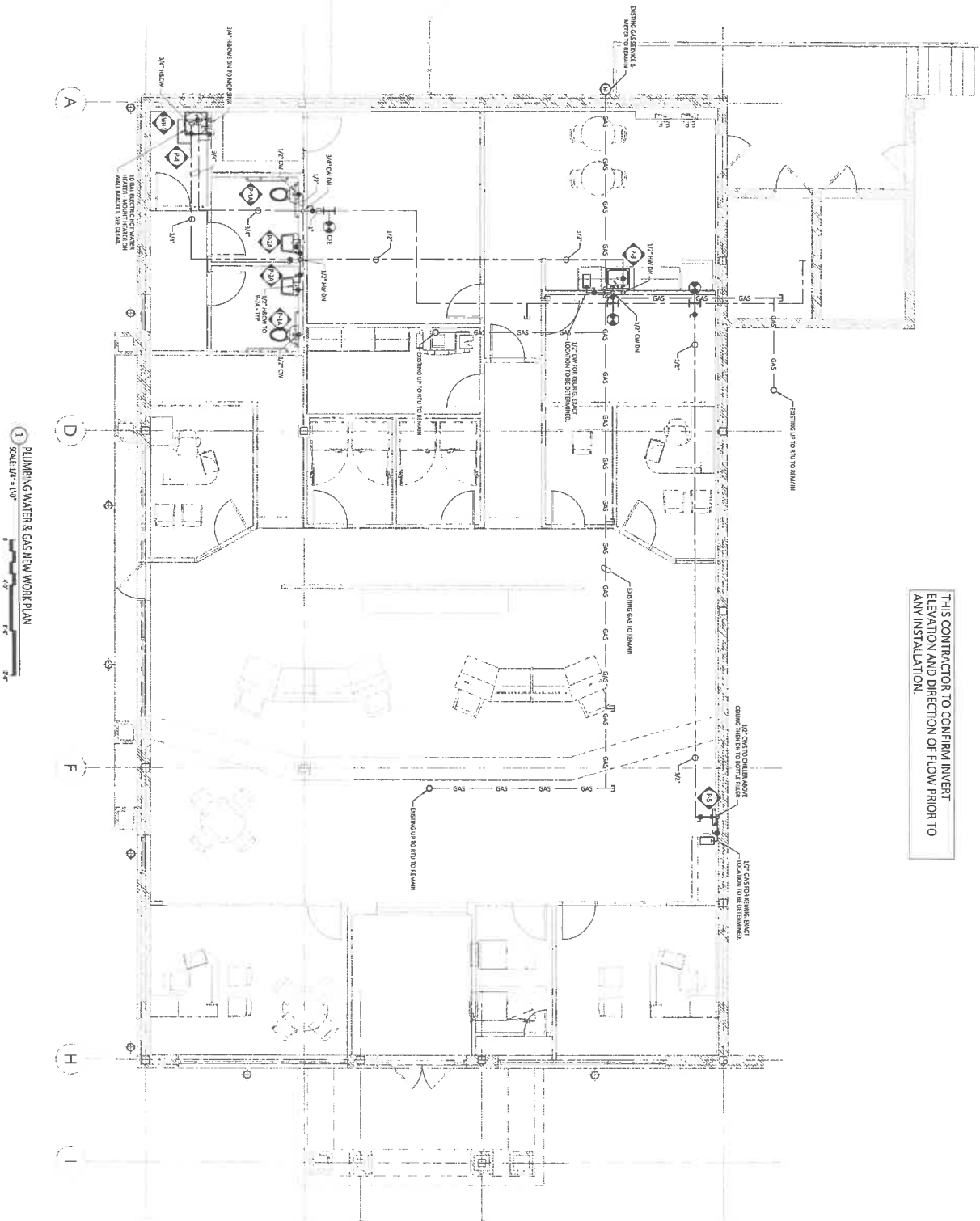
SHEET LIST	
SHEET NUMBER	SHEET NAME
P0.1	PLUMBING - LEGEND, SYMBOLS, DETAILS, & SCHEDULES
P0.10	PLUMBING - SLOPE PLAN
P1.0	PLUMBING - WATER & GAS NETWORK
P1.1	PLUMBING - WATER & GAS NETWORK
P1.0	PLUMBING SPECIFICATIONS

[illegible]

McGeorge Architecture Interiors 10000 1st Avenue Suite 200 San Diego, CA 92128 Phone: (619) 594-1000 Fax: (619) 594-1001	WORLD CLASS INTERIORS  14000 1st Avenue Suite 200 San Diego, CA 92128 Phone: (619) 594-1000 Fax: (619) 594-1001	THE WASHINGTON TRUST COMPANY 321 PULASKI AVE SMITHFIELD, RI 02917		<p>Client Acceptance and Authorization to Proceed</p> <p><input type="checkbox"/> Approved with out Modification <input type="checkbox"/> Approved As Noted <input type="checkbox"/> Requires Revision</p> <p>Home & Title: _____ Date: _____</p> <p>Signature: _____</p>
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THIS CONTRACTOR TO CONFIRM INVERT
ELEVATION AND DIRECTION OF FLOW PRIOR TO
ANY INSTALLATION.



1 PLUMBING WATER & GAS NEW WORK PLAN
SCALE 1/4" = 1'-0"



FZA PROJECT: PR-23-00509

McGeorge Architecture Interiors 801 Chalkstone Avenue, Suite 200 Northampton, MA 01060 413.253.1237 mcgeorgeinteriors.com	Michael Dale Peterson No. 1217 Professional Engineer License No. 1217	ZAINO 100 Thompson Street, Suite 200 Northampton, MA 01060 413.253.1237 zaino.com	Client Acceptance and Authorization to Proceed <input type="checkbox"/> Approved with Out Modification <input type="checkbox"/> Approved As Noted <input type="checkbox"/> Requires Revision Name & Title: _____ Signature: _____	AAU/ELLERRE 100 Thompson Street, Suite 200 Northampton, MA 01060 413.253.1237 aauellerre.com	THE WASHINGTON TRUST COMPANY 371 PINKNEY AVE SHIRLEY, MA 01907	DATE: 04.13.23 DRAWN BY: JAV CHECKED BY: JAV DATE: 04.13.23	PLUMBING WATER & GAS NEW WORK	P1.0 USED FOR PERMIT & CONSTRUCTION
			PROJECT NO. DATE: 04.13.23 DISPOSITION:	FZA PROJECT: PR-23-00509				

1. The following are the most common types of chemical hazards that can be found in the workplace:
 - a. Volatile organic compounds (VOCs)
 - b. Heavy metals
 - c. Pesticides
 - d. Acidic and alkaline substances
 - e. Asbestos
 - f. Lead
 - g. Silica
 - h. Benzene
 - i. Polychlorinated biphenyls (PCBs)
 - j. Phthalates
 - k. Formaldehyde
 - l. Nitrogen oxides
 - m. Sulfur dioxide
 - n. Carbon monoxide
 - o. Hydrogen sulfide
 - p. Ammonia
 - q. Chlorine
 - r. Fluorine
 - s. Hydrogen cyanide
 - t. Hydrogen peroxide
 - u. Peroxyacetyl nitrates (PANs)
 - v. Ozone
 - w. Nitrogen dioxide
 - x. Sulfur hexafluoride
 - y. Hexafluoroethane
 - z. Perfluorooctane sulfonates (PFOSs)
2. The following are the most common types of physical hazards that can be found in the workplace:
 - a. Noise
 - b. Vibration
 - c. Heat
 - d. Cold
 - e. Radiation
 - f. Electricity
 - g. Fire
 - h. Falling objects
 - i. Slips, trips, and falls
 - j. Caught in/between
 - k. Struck by
 - l. Repetitive motion
 - m. Ergonomic stress
 - n. Poor lighting
 - o. Poor ventilation
 - p. Poor ergonomics
 - q. Poor housekeeping
 - r. Poor safety training
 - s. Poor safety culture
 - t. Poor safety management
 - u. Poor safety communication
 - v. Poor safety equipment
 - w. Poor safety procedures
 - x. Poor safety policies
 - y. Poor safety standards
 - z. Poor safety regulations
3. The following are the most common types of biological hazards that can be found in the workplace:
 - a. Bacteria
 - b. Viruses
 - c. Fungi
 - d. Parasites
 - e. Allergens
 - f. Zoonotic diseases
 - g. Infectious diseases
 - h. Prion diseases
 - i. Bloodborne pathogens
 - j. Airborne pathogens
 - k. Waterborne pathogens
 - l. Foodborne pathogens
 - m. Vector-borne pathogens
 - n. Zoonotic agents
 - o. Infectious agents
 - p. Prion agents
 - q. Bloodborne agents
 - r. Airborne agents
 - s. Waterborne agents
 - t. Foodborne agents
 - u. Vector-borne agents
 - v. Zoonotic agents
 - w. Infectious agents
 - x. Prion agents
 - y. Bloodborne agents
 - z. Airborne agents
4. The following are the most common types of psychosocial hazards that can be found in the workplace:
 - a. Stress
 - b. Anxiety
 - c. Depression
 - d. Burnout
 - e. Fatigue
 - f. Sleep deprivation
 - g. Substance use
 - h. Alcohol consumption
 - i. Drug use
 - j. Gambling
 - k. Prostitution
 - l. Sexuality
 - m. Gender
 - n. Race
 - o. Ethnicity
 - p. Religion
 - q. Age
 - r. Disability
 - s. Health status
 - t. Financial status
 - u. Social status
 - v. Marital status
 - w. Family size
 - x. Child care
 - y. Elder care
 - z. Transportation
5. The following are the most common types of safety hazards that can be found in the workplace:
 - a. Fire
 - b. Explosion
 - c. Falling objects
 - d. Slips, trips, and falls
 - e. Caught in/between
 - f. Struck by
 - g. Repetitive motion
 - h. Ergonomic stress
 - i. Poor lighting
 - j. Poor ventilation
 - k. Poor ergonomics
 - l. Poor housekeeping
 - m. Poor safety training
 - n. Poor safety culture
 - o. Poor safety management
 - p. Poor safety communication
 - q. Poor safety equipment
 - r. Poor safety procedures
 - s. Poor safety policies
 - t. Poor safety standards
 - u. Poor safety regulations
 - v. Poor safety practices
 - w. Poor safety habits
 - x. Poor safety attitudes
 - y. Poor safety beliefs
 - z. Poor safety values

[illegible]

1. The following are the most common types of chemical hazards that can be found in the workplace:
 - a. Volatile organic compounds (VOCs)
 - b. Heavy metals
 - c. Pesticides
 - d. Acidic and alkaline substances
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 - p. Ammonia
 - q. Chlorine
 - r. Fluorine
 - s. Hydrogen cyanide
 - t. Hydrogen peroxide
 - u. Peroxyacetyl nitrates (PANs)
 - v. Ozone
 - w. Nitrogen dioxide
 - x. Sulfur hexafluoride
 - y. Hexafluoroethane
 - z. Perfluorooctane sulfonic acid (PFOS)
 - aa. Polybrominated diphenyl ethers (PBDEs)
 - ab. Polycyclic aromatic hydrocarbons (PAHs)
 - ac. Dioxins
 - ad. Furans
 - ae. Organophosphorus compounds (OPCs)
 - af. Carbamates
 - ag. Pyrethroids
 - ah. Insect growth regulators (IGRs)
 - ai. Neonicotinoids
 - aj. Botanicals
 - ak. Microbial pesticides
 - al. Biopesticides
 - am. Fungicides
 - an. Herbicides
 - ao. Rodenticides
 - ap. Antifeedants
 - aq. Repellents
 - ar. Attractants
 - as. Lure baits
 - at. Bait stations
 - au. Traps
 - av. Monitoring devices
 - aw. Personal protective equipment (PPE)
 - ax. Safety equipment
 - ay. First aid kits
 - az. Emergency response equipment
 - ba. Fire extinguishers
 - bb. Spill kits
 - bc. Decontamination equipment
 - bd. Personal hygiene products
 - be. First aid kits
 - bf. Emergency response equipment
 - bg. Fire extinguishers
 - bh. Spill kits
 - bi. Decontamination equipment
 - bj. Personal hygiene products
 - bk. First aid kits
 - bl. Emergency response equipment
 - bm. Fire extinguishers
 - bn. Spill kits
 - bo. Decontamination equipment
 - bp. Personal hygiene products
 - bq. First aid kits
 - br. Emergency response equipment
 - bs. Fire extinguishers
 - bt. Spill kits
 - bu. Decontamination equipment
 - bv. Personal hygiene products
 - bw. First aid kits
 - bx. Emergency response equipment
 - by. Fire extinguishers
 - bz. Spill kits
 - ca. Decontamination equipment
 - cb. Personal hygiene products
 - cc. First aid kits
 - cd. Emergency response equipment
 - ce. Fire extinguishers
 - cf. Spill kits
 - cg. Decontamination equipment
 - ch. Personal hygiene products
 - ci. First aid kits
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 - ck. Fire extinguishers
 - cl. Spill kits
 - cm. Decontamination equipment
 - cn. Personal hygiene products
 - co. First aid kits
 - cp. Emergency response equipment
 - cq. Fire extinguishers
 - cr. Spill kits
 - cs. Decontamination equipment
 - ct. Personal hygiene products
 - cu. First aid kits
 - cv. Emergency response equipment
 - cw. Fire extinguishers
 - cx. Spill kits
 - cy. Decontamination equipment
 - cz. Personal hygiene products
 - da. First aid kits
 - db. Emergency response equipment
 - dc. Fire extinguishers
 - dd. Spill kits
 - de. Decontamination equipment
 - df. Personal hygiene products
 - dg. First aid kits
 - dh. Emergency response equipment
 - di. Fire extinguishers
 - dj. Spill kits
 - dk. Decontamination equipment
 - dl. Personal hygiene products
 - dm. First aid kits
 - dn. Emergency response equipment
 - do. Fire extinguishers
 - dp. Spill kits
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 - ds. First aid kits
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 - ep. Personal hygiene products
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 - fq. Fire extinguishers
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 - fs. Decontamination equipment
 - ft. Personal hygiene products
 - fu. First aid kits
 - fv. Emergency response equipment
 - fw. Fire extinguishers
 - fx. Spill kits
 - fy. Decontamination equipment
 - fz. Personal hygiene products
 - ga. First aid kits
 - gb. Emergency response equipment
 - gc. Fire extinguishers
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 - ge. Decontamination equipment
 - gf. Personal hygiene products
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 - gh. Emergency response equipment
 - gi. Fire extinguishers
 - gj. Spill kits
 - gk. Decontamination equipment
 - gl. Personal hygiene products
 - gm. First aid kits
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 - ig. Decontamination equipment
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 - ik. Fire extinguishers
 - il. Spill kits
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 - ix. Spill kits
 - iy. Decontamination equipment
 - iz. Personal hygiene products
 - ja. First aid kits
 - jb. Emergency response equipment
 - jc. Fire extinguishers
 - jd. Spill kits
 - je. Decontamination equipment
 - jf. Personal hygiene products
 - jj. First aid kits
 - jk. Emergency response equipment
 - jl. Fire extinguishers
 - jm. Spill kits
 - jn. Decontamination equipment
 - jo. Personal hygiene products
 - jp. First aid kits
 - jq. Emergency response equipment
 - jr. Fire extinguishers
 - js. Spill kits
 - jt. Decontamination equipment
 - ju. Personal hygiene products
 - kv. First aid kits
 - kw. Emergency response equipment
 - kx. Fire extinguishers
 - ky. Spill kits
 - kz. Decontamination equipment
 - la. Personal hygiene products
 - lb. First aid kits
 - lc. Emergency response equipment
 - ld. Fire extinguishers
 - le. Spill kits
 - lf. Decontamination equipment
 - lg. Personal hygiene products
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 - li. Emergency response equipment
 - lj. Fire extinguishers
 - lk. Spill kits
 - ll. Decontamination equipment
 - lm. Personal hygiene products
 - ln. First aid kits
 - lo. Emergency response equipment
 - lp. Fire extinguishers
 - lq. Spill kits
 - lr. Decontamination equipment
 - ls. Personal hygiene products
 - lt. First aid kits
 - lu. Emergency response equipment
 - lv. Fire extinguishers
 - lw. Spill kits
 - lx. Decontamination equipment
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 - mc. Spill kits
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 - me. Personal hygiene products
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 - mg. Emergency response equipment
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 - mi. Spill kits
 - mj. Decontamination equipment
 - mk. Personal hygiene products
 - ml. First aid kits
 - mn. Emergency response equipment
 - mo. Fire extinguishers
 - mp. Spill kits
 - mq. Decontamination equipment
 - mr. Personal hygiene products
 - ms. First aid kits
 - mt. Emergency response equipment
 - mu. Fire extinguishers
 - mv. Spill kits
 - mw. Decontamination equipment
 - mx. Personal hygiene products
 - my. First aid kits
 - mz. Emergency response equipment
 - na. Fire extinguishers
 - nb. Spill kits
 - nc. Decontamination equipment
 - nd. Personal hygiene products
 - ne. First aid kits
 - nf. Emergency response equipment
 - ng. Fire extinguishers
 - nh. Spill kits
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 - nl. Emergency response equipment
 - no. Fire extinguishers
 - np. Spill kits
 - nq. Decontamination equipment
 - nr. Personal hygiene products
 - ns. First aid kits
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 - nu. Fire extinguishers
 - nv. Spill kits
 - nw. Decontamination equipment
 - nx. Personal hygiene products
 - ny. First aid kits
 - nz. Emergency response equipment
 - oa. Fire extinguishers
 - ob. Spill kits
 - oc. Decontamination equipment
 - od. Personal hygiene products
 - oe. First aid kits
 - of. Emergency response equipment
 - og. Fire extinguishers
 - oh. Spill kits
 - oi. Decontamination equipment
 - oj. Personal hygiene products
 - ok. First aid kits
 - ol. Emergency response equipment
 - om. Fire extinguishers
 - on. Spill kits
 - oo. Decontamination equipment
 - op. Personal hygiene products
 - oq. First aid kits
 - or. Emergency response equipment
 - os. Fire extinguishers
 - ot. Spill kits
 - ou. Decontamination equipment
 - ov. Personal hygiene products
 - ow. First aid kits
 - ox. Emergency response equipment
 - oy. Fire extinguishers
 - oz. Spill kits
 - pa. Decontamination equipment
 - pb. Personal hygiene products
 - pc. First aid kits
 - pd. Emergency response equipment
 - pe. Fire extinguishers
 - pf



DATE: 04/01/23
TIME: 10:00 AM
BY: [Signature]

PROJECT: 23-00509

CLIENT: THE WASHINGTON TRUST COMPANY
307 PULASKI AVE
SMITHFIELD, RI 02917

PROJECT: 23-00509

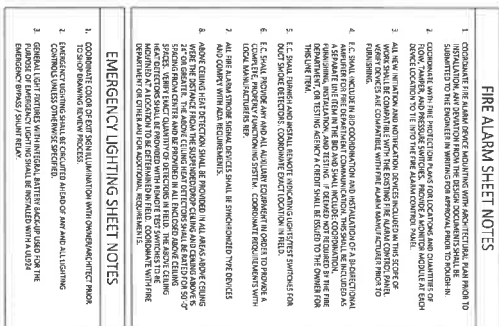
CLIENT: THE WASHINGTON TRUST COMPANY
307 PULASKI AVE
SMITHFIELD, RI 02917

DATE: 04/01/23
TIME: 10:00 AM
BY: [Signature]

PROJECT: 23-00509

CLIENT: THE WASHINGTON TRUST COMPANY
307 PULASKI AVE
SMITHFIELD, RI 02917

DATE: 04/01/23
TIME: 10:00 AM
BY: [Signature]

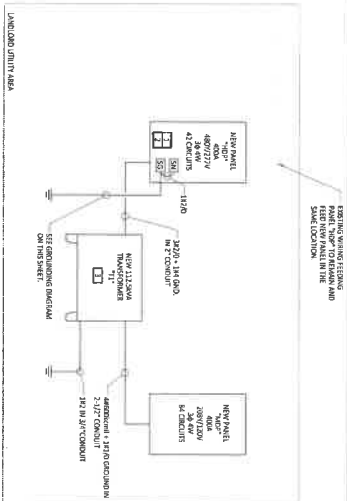


EMERGENCY LIGHTING SHEET NOTES

- [illegible]

[illegible][illegible][illegible]

PANEL "HD" SHALL BE SERVICE ENTRANCE RATED.
FACED A 1/2" X 3/4" BEAMER IN DISTRIBUTION PANEL "HD" TO FEED TRANSFORMER.
BOND NEUTRAL OF TRANSFORMER SECONDARY TO THE TRANSFORMER ENCLOSURE WITH 1/2" X 3/4" C



NOT TO SCALE

AC-MATCH	MAIN LIO ON, Y	SHUT THE MAIN	<input type="checkbox"/>
	MAIN CIRCUIT BREAKER X	20% BATED NEUTRAL	<input type="checkbox"/>
	FILSH MORNED	ISOLATED DRUG	<input type="checkbox"/>
BUS RATING 225A	SHUT THE MAIN	FEED THE LUS	<input type="checkbox"/>
	SHUT-ACQ MODIFIED X	100% BATED MAIN BREAKER	<input type="checkbox"/>
		GROUND TRAIL MAIN C.B.	<input type="checkbox"/>

MARKETING ABILITIES

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000
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FZA PROJECT: PR-23-00509

**THE WASHINGTON
TRUST COMPANY**
371 PUTNAM PIKE
SMITHFIELD, RI 02917

☐ Approved with out modification
☐ Approved As Noted
☐ Requires Revision

Name & Title: _____

Signature: _____

Date:

5 months or less

ZAINC
ASSOCIATES
183 Providence New London Turnpike
North Stonington, CT 06354
tel: 860-535-0337 fax: 860-535-9044
www.zainc.com info@zainc.com

McGeorge
Architecture Interior
10 Fifth Avenue
East Greenwich, Rhode Island 02818
401.398.7606
mcgeorge@aol.com

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